

Annwyl Gyngorydd,

PWYLLGOR CYNLLUNIO - DYDD MAWRTH, 2AIL HYDREF, 2018

Gweler yn amgaaedig, yr atodiadau a cynlluniau ar gyfer y cyfarfod uchod.

Rhif ar yr Agenda	Eitem
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- | | |
|----|-------------------------------------------------------------------------------------------------------------------------|
| 3. | <u>E/37292 - CODI GAREJ AR WAHÂN Â THO Â PHIG, 125 HEOL SARON, SARON, RHYDAMAN, SA18 3LH (Tudalennau 5 - 16)</u> |
| 4. | <u>RHANBARTH Y DWYRAIN - PENDERFYNU AR GEISIADAU (Tudalennau 17 - 32)</u> |
| 5. | <u>RHANBARTH Y GORLLEWIN - PENDERFYNU AR GEISIADAU (Tudalennau 33 - 60)</u> |
| 6. | <u>RHANBARTH Y DE - PENDERFYNU AR GEISIADAU (Tudalennau 61 - 138)</u> |

Yn gywir,

Mark James DYB

Prif Weithredwr

Amg.

Mae'r dudalen hon yn wag yn fwriadol

**Y PWYLLGOR
CYNLLUNIO**

**PLANNING
COMMITTEE**

02 HYDREF2018

02 OCTOBER 2018

**RHANBARTH Y
DWYRAIN**

**AREA
EAST**

Eitem Rhif 3

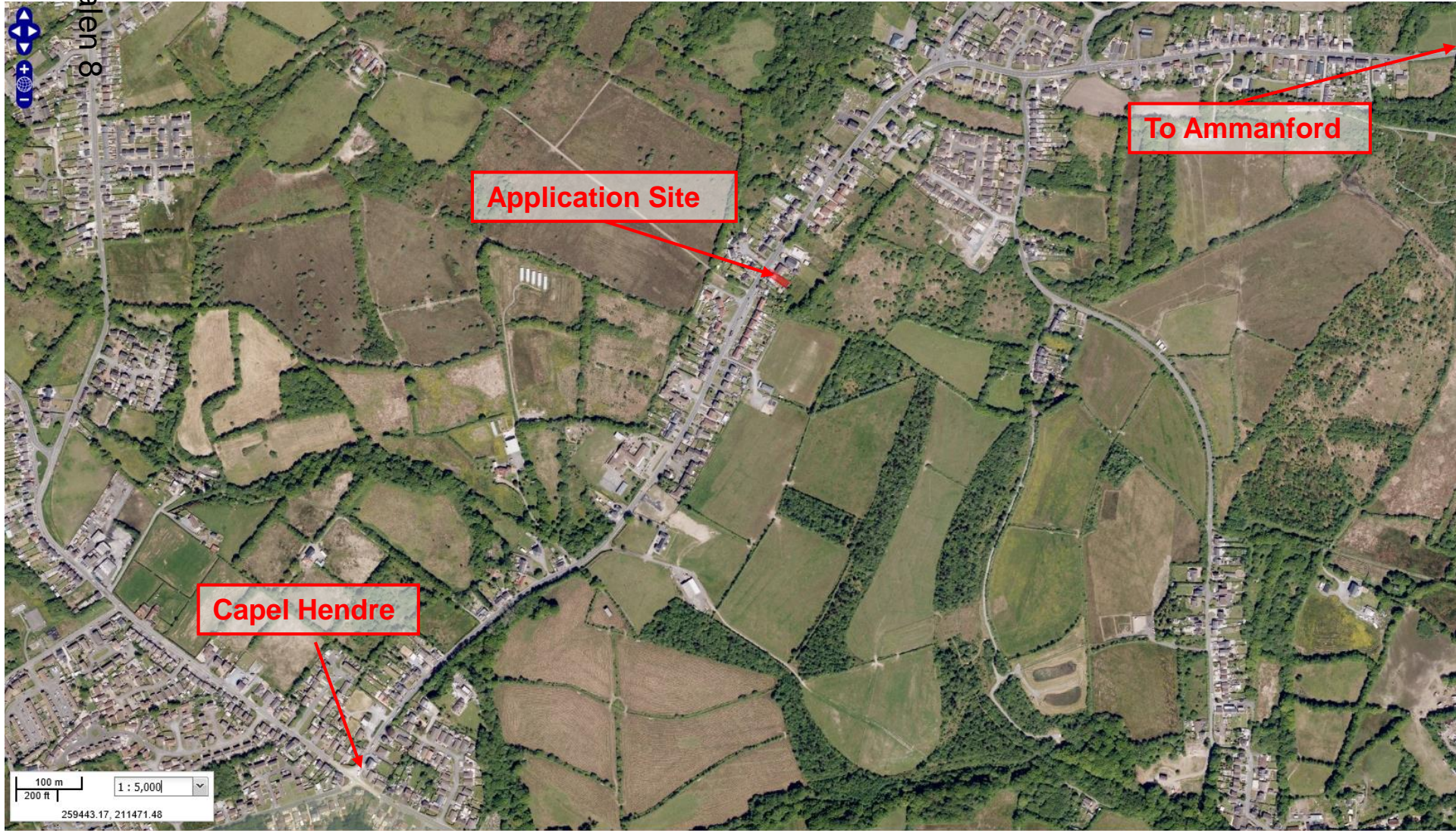
CEISIADAU YR ARGYMHELLIR EU BOD YN CAEL EU CYMERADWYO

APPLICATIONS RECOMMENDED FOR APPROVAL

E/37292

E/37292

Tudalen 8



Application Site

Capel Hendre

To Ammanford

100 m
200 ft
1 : 5,000
259443.17, 211471.48

E/37292

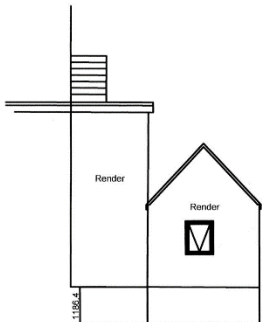


E/37292

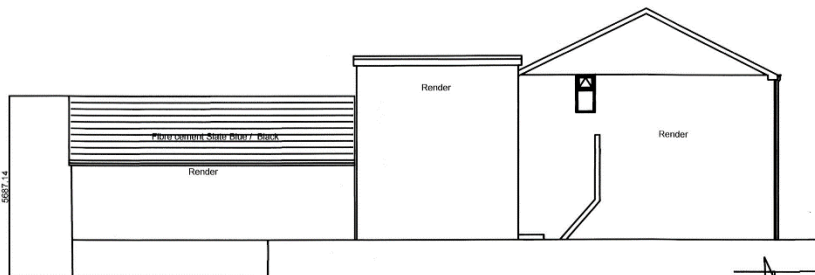
Tudalen 10



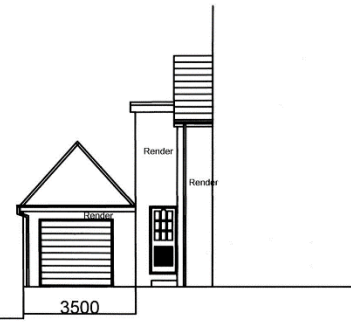
E/37292



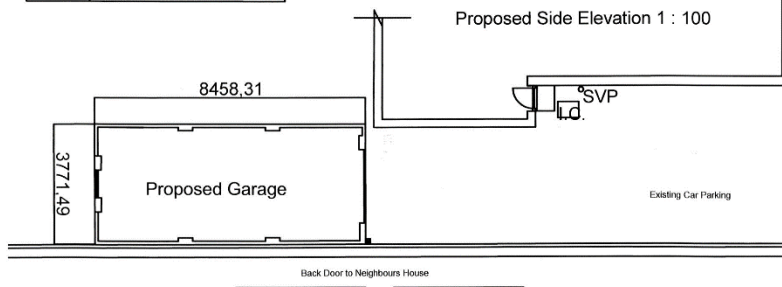
Proposed Part Rear Elevation 1 : 100



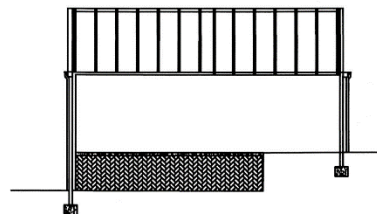
Proposed Side Elevation 1 : 100



Proposed Part Front Elevation 1 : 100



Proposed Part Ground Floor Plan and Part Site Plan 1 : 100



Proposed Section 1 : 100

Mr A. Maskell
No125, Saron Road,
Saron,
Ammanford,
Carmarthenshire.
SA18 3LH



E/37292

Tudalen 12



E/37292



Tudalen 13

E/37292

Tudalen 14



E/37292



Tudalen 15

Mae'r dudalen hon yn wag yn fwriadol

*Ardal
Dwyrain/
Area East*

**ADRODDIAD PENNAETH CYNLLUNIO,
CYFARWYDDIAETH YR
AMGYLCHEDD**

**REPORT OF THE HEAD OF
PLANNING,
DIRECTORATE OF ENVIRONMENT**

**AR GYFER PWYLLGOR CYNLLUNIO
CYNGOR SIR CAERFYRDDIN**

**TO CARMARTHENSHIRE COUNTY
COUNCIL'S PLANNING COMMITTEE**

**AR 02 HYDREF 2018
ON 02 OCTOBER 2018**

**I'W BENDERFYNU
FOR DECISION**

**ATODIAD
ADDENDUM**



ADDENDUM – Area East

<i>Application Number</i>	E/37720
<i>Proposal & Location</i>	ERECTION OF A STEEL PORTAL FRAMED BUILDING, WITH CONCRETE PANEL WALLS AND BOX PROFILE STEEL SHEETING TO THE EAVES FOR USE OF A COVERED MANURE STORE, TOGETHER WITH ALL OTHER ASSOCIATED WORKS AT GODRE GARREG, LLANGADOG, SA19 9DA

DETAILS:

CONSULTATIONS

Natural Resources Wales (NRW) - Following the receipt of the further details requested in terms of the storage capacity, design and construction of the proposed manure store, NRW has now responded that there are no objections to the proposed development.

Landscape Officer – Offers no objection to the application subject to the imposition of two conditions with regard to the construction exclusion zone around specific landscape elements and to secure compliance with submitted landscaping scheme respectively.

The two recommended conditions shall be included in place of conditions 11 and 12 as shown in the report.

Planning Ecologist – Has commented that there are no ecological concerns other than ensuring the legislation in relation to the Special Area of Conservation (SAC) is met and assessments are carried out following due process. The application will need a TLSE that needs to be informed by NRW's response to the new information which is outstanding.

The recently received NRW reply referred to above has now been forwarded to Ecologist to enable the TLSE to be undertaken. The recommendation that planning permission is granted is subject to the satisfactory conclusion of the TLSE process.

Neighbours/Public - Fourteen further letters of objection have now been received which reiterate the objections referred to in the report and raise the following concerns:-

- As the local member has declared an interest there is no local representative to act on behalf of the objectors.
- The manure store building should have been included in the initial application for the poultry unit.
- The report was written before the end of the consultation period which concluded on 28th September; how can a fully informed recommendation be made without all of the relevant information being available?
- There does not appear to be any record/reference to the objections in the report – 'in effect planning permission has been granted before the end of the consultation period'.

- The strength of and the need to ensure compliance with any conditions which may be imposed - the applicant has already breached planning conditions.
- The welfare of the chickens to be housed in the poultry unit.
- The provision and location of a vehicular parking space on the common.
- The officer presenting the application to the Committee does not have the in-depth knowledge of the case officer and the determination should be deferred until the case officer is available.

THIRD PARTY REPRESENTATIONS

Having regard to each of the concerns referred to above:-

Although no communication has been received from the local member Cllr Andrew James in this application he did formally declare an interest in the previous application (E/33695) for the poultry unit.

Members may recall that the applicant amended the location of the poultry unit during the course of application E/33695 so as to be closer to the main farm complex to address concerns expressed by the committee at the time of the initial consideration of the proposal. While those revised plans sought to introduce the provision of the manure storage building it was considered that the application had to remain of the same type i.e. for the poultry unit only, and the manure storage building would have to be the subject of a subsequent application.

It is acknowledged that the report was drafted before the expiration of the consultation period; the outstanding information subsequently received is referred to in this addendum.

There is reference to the objections received in the main report, which is updated in this addendum.

Again it is acknowledged that there is a need to ensure compliance with the conditions imposed on the permission. The report notes the breach of condition with regard to work having commenced before permission for the manure storage building has been secured and conveys the part the determination of this application has in considering the expediency of any enforcement action. A second concern in respect of work commencing before the stipulated 8:00 am has been conveyed to the applicant's agent.

The welfare of the chickens to be housed in the poultry unit and the provision of the vehicular parking space on the common are not material considerations in the determination of this application.

The comment in respect of the officer presenting the application to the Committee does not have the in-depth knowledge of the case officer and the determination should be deferred until the case officer is available is a statement of opinion. While the case officer does have a day to day involvement in the application it is the usual practice that a senior colleague presents the application to Committee.

Correction:-

At the head of page 17 in addressing the first concern in the 'Third Party Representations' section, the report refers to the approved poultry unit building being '...8.2m with the chimneys'. The approved poultry unit building is 6.09m to the ridge with the chimneys 1.5m above i.e. a total height of 7.59m. The sentence should therefore correctly read:-

"The ridge of the proposed building will be 8.3 metres above the ground level and whilst the height will be higher than the proposed poultry unit at 7.6 metres with the chimneys; it does not excessively exceed the height of the existing agricultural buildings at the farm;..."

***Y PWYLLGOR
CYNLLUNIO***

**PLANNING
COMMITTEE**

02 HYDREF 2018

02 OCTOBER 2018

***RHANBARTH Y
DWYRAIN***

**AREA
EAST**

CEISIADAU YR ARGYMHELLIR EU BOD YN CAEL EU CYMERADWYO

APPLICATIONS RECOMMENDED FOR APPROVAL

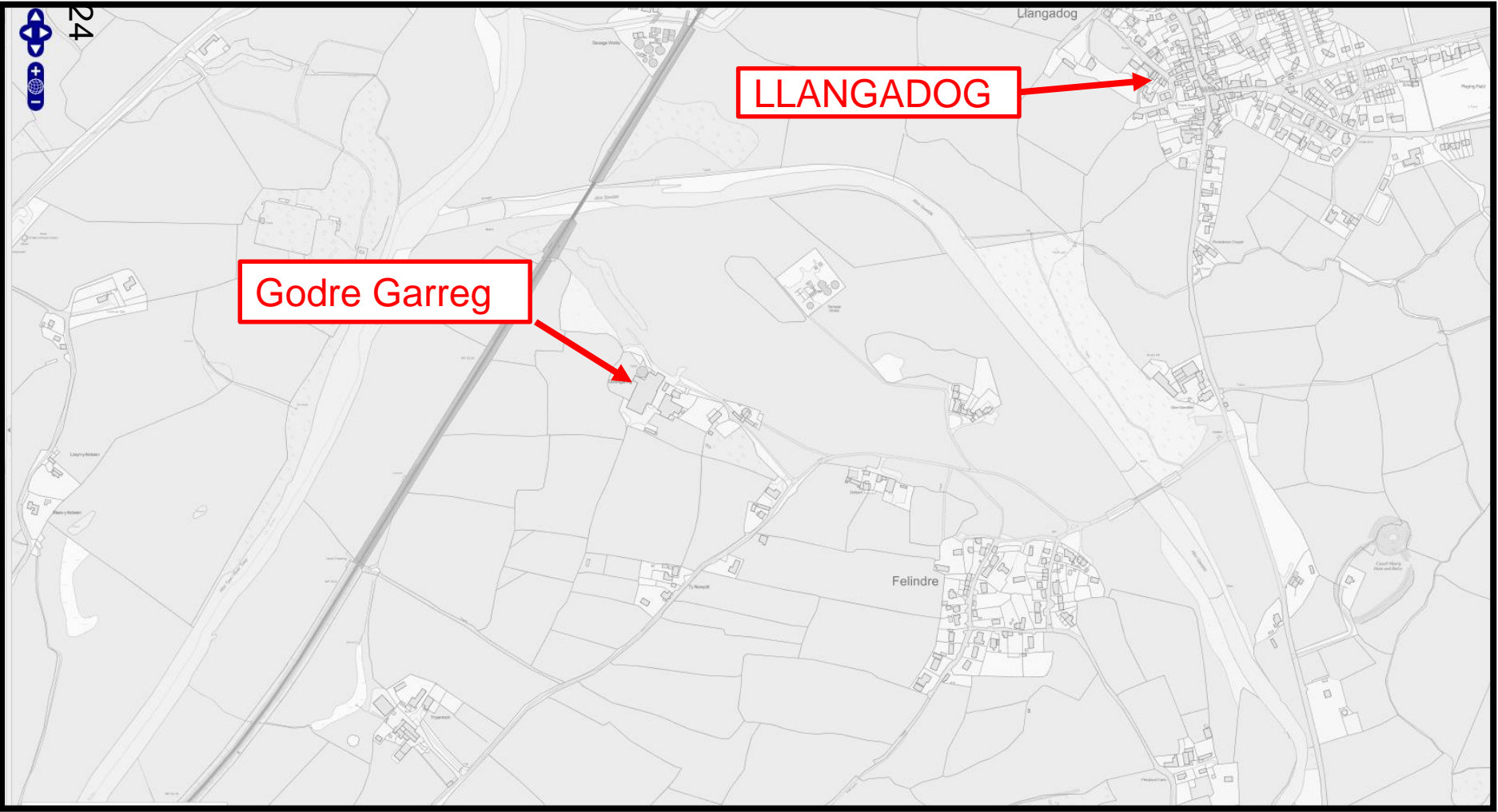
E/37720

Tudalen 23

E/37720

LOCATION PLAN

Tudalen 24



Godre Garreg

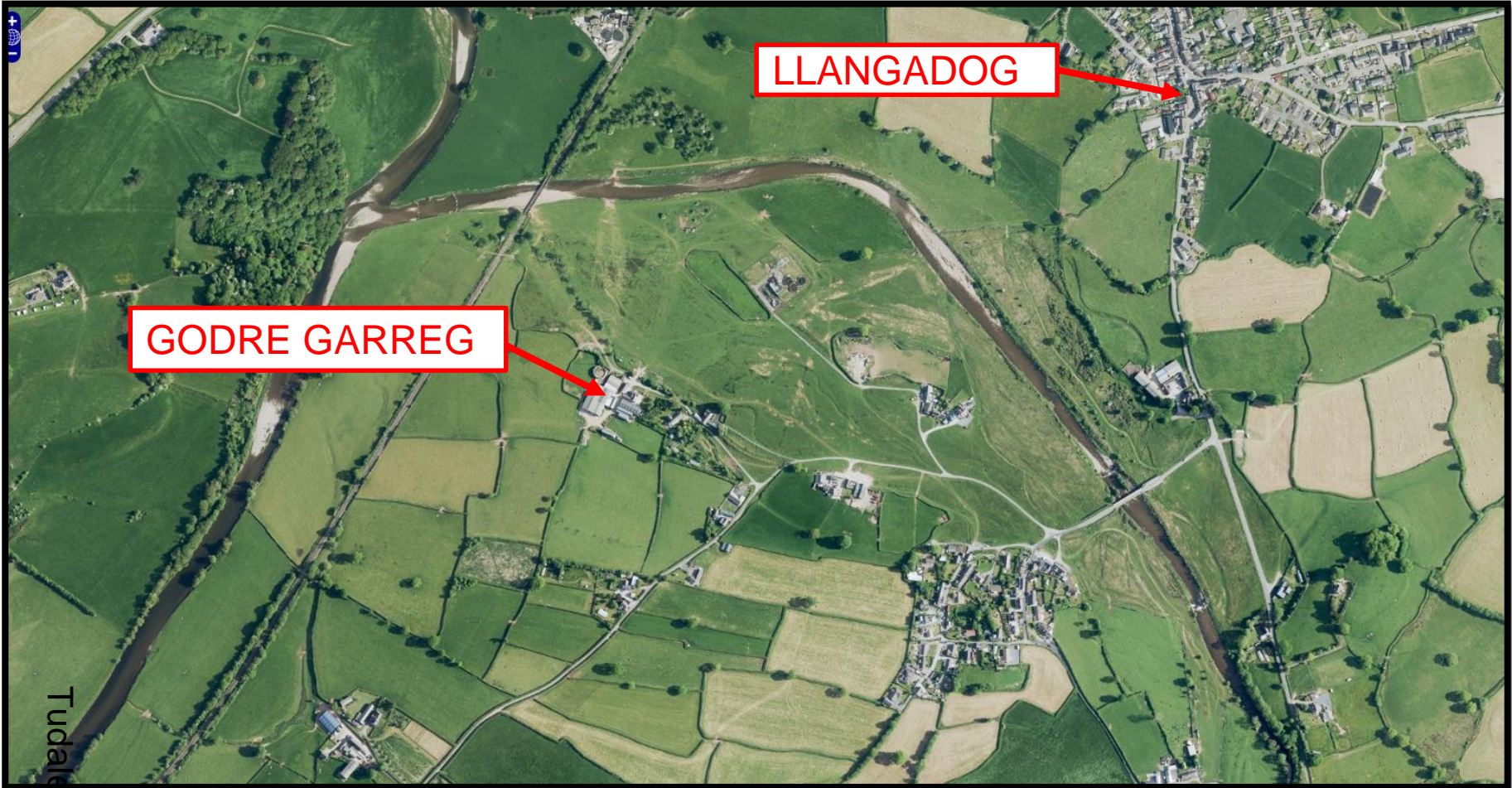
LLANGADOG

Llangadog

Felindre

E/37720

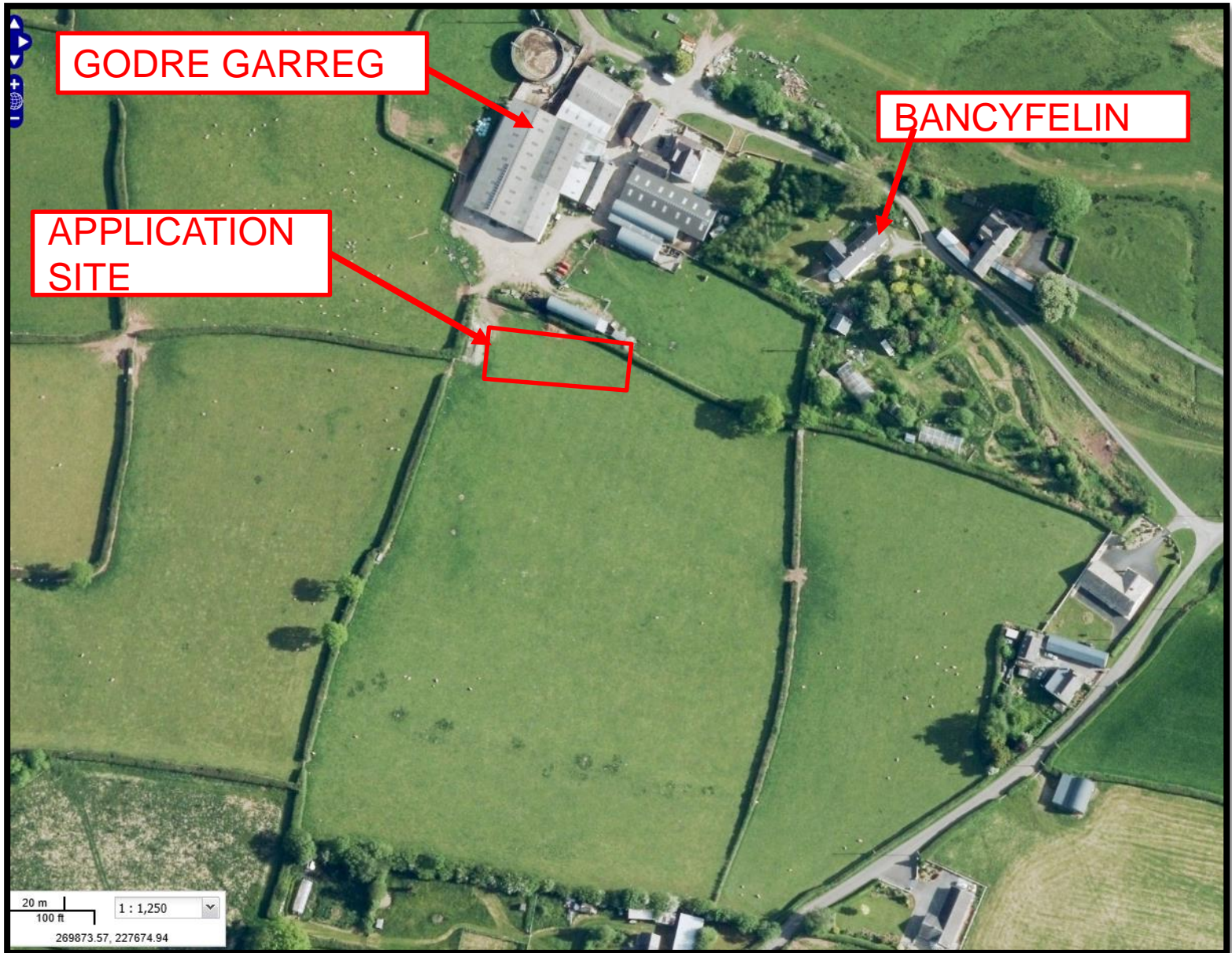
AERIAL LOCATION PLAN



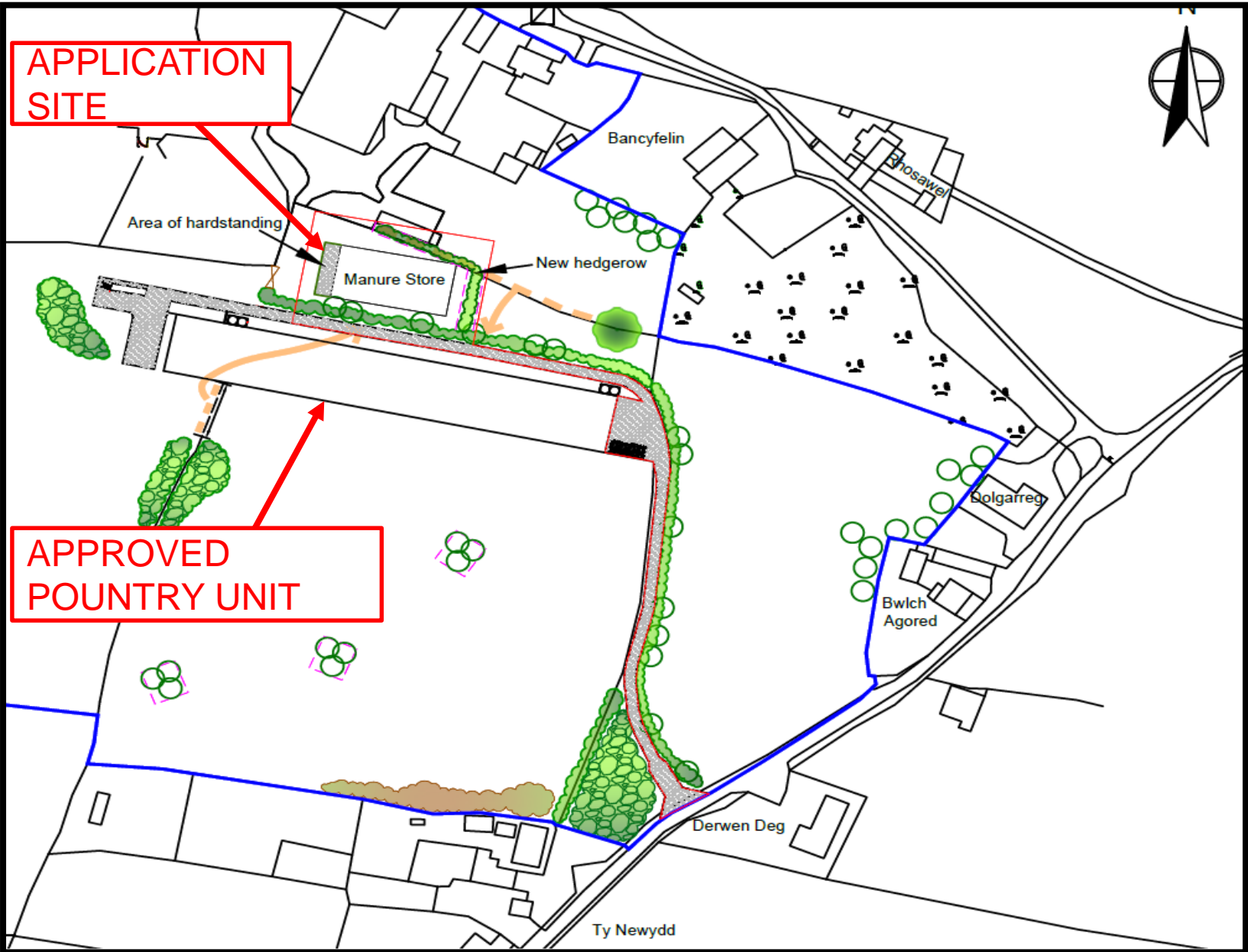
E/37720

SITE PLAN

Tudalen 26

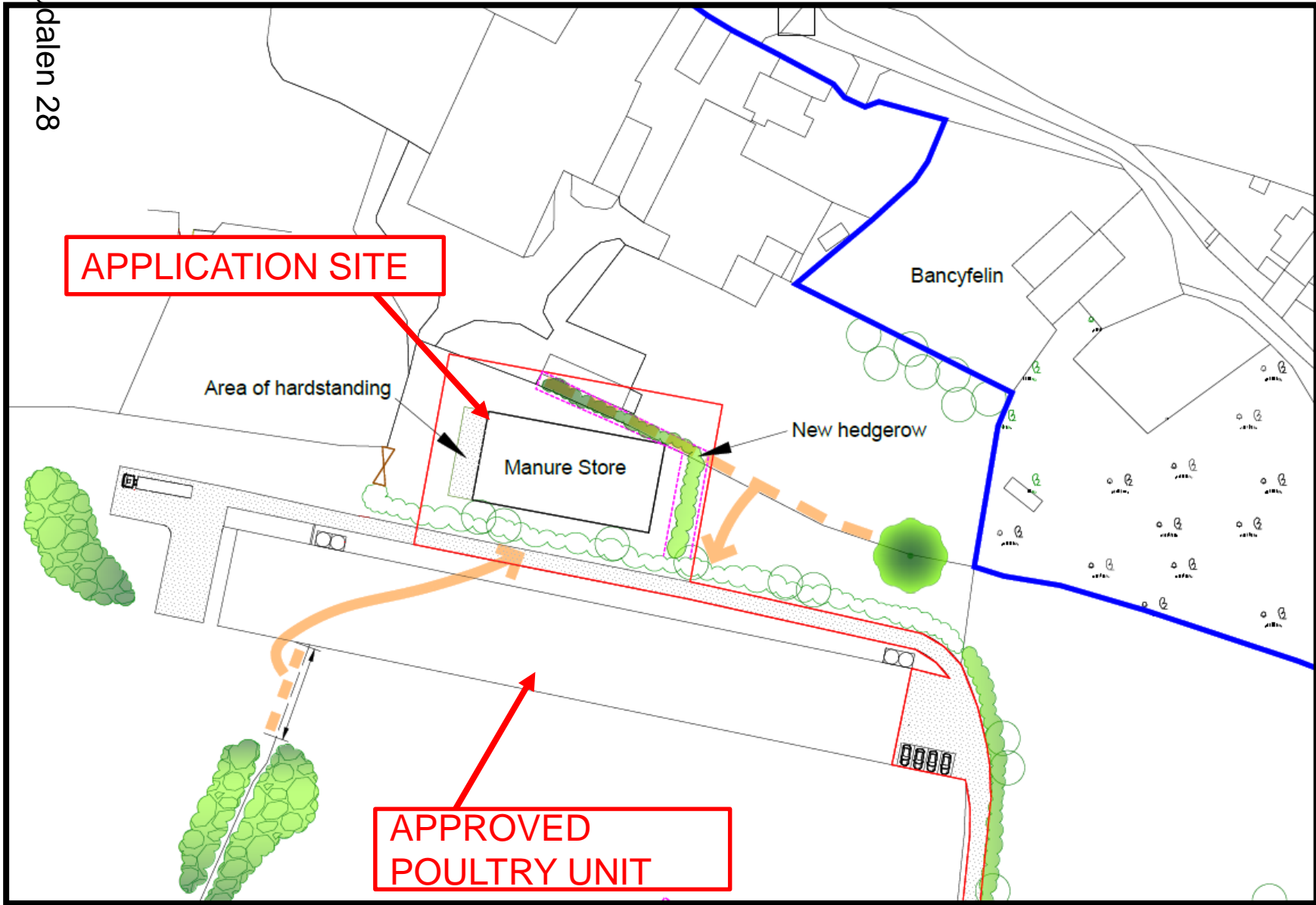


E/37720 SITE AND LANDSCAPING PLAN



E/37720

SITE PLAN



Tudalen 28

APPLICATION SITE

Area of hardstanding

Manure Store

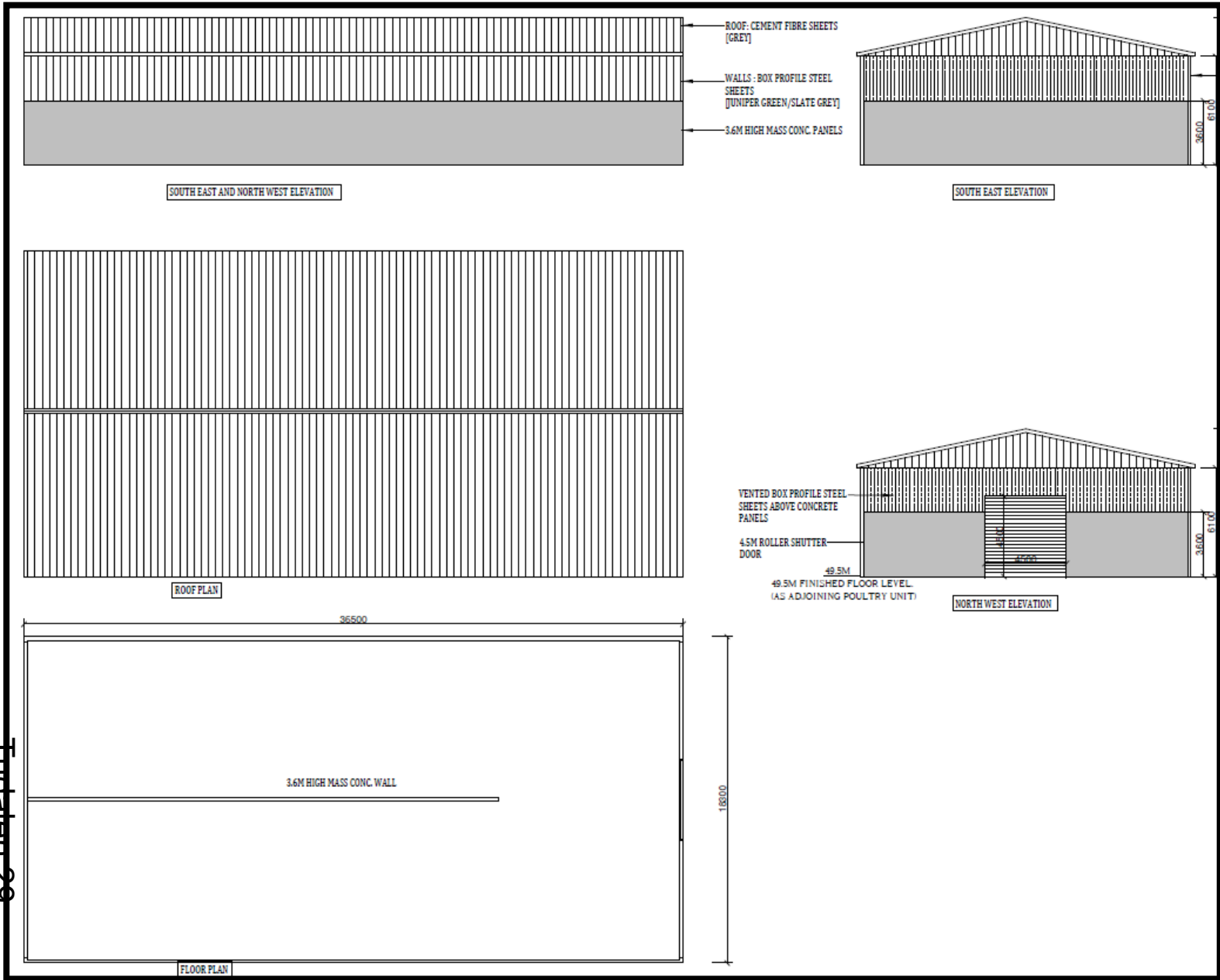
New hedgerow

Bancyfelin

APPROVED POULTRY UNIT

E/37720

ELEVATION AND LAYOUT PLANS



Tudatent 29

E/37720

SITE PHOTO

Tudaterr 30



E/37720

SITE PHOTO



Tudalen 31

E/37720

SITE PHOTO

Tudalen 32



*Ardal
Gorllewin/
Area West*

**ADRODDIAD PENNAETH
CYNLLUNIO,
CYFARWYDDIAETH YR AMGYLCHEDD**

**REPORT OF THE
HEAD OF PLANNING,
DIRECTORATE OF ENVIRONMENT**

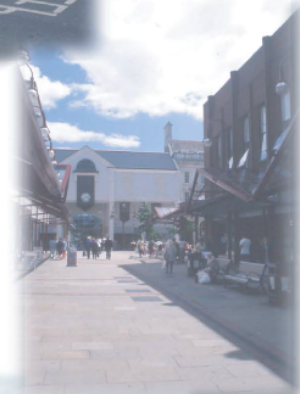
**AR GYFER PWYLLGOR CYNLLUNIO
CYNGOR SIR CAERFYRDDIN**

**TO CARMARTHENSHIRE COUNTY
COUNCIL'S PLANNING COMMITTEE**

**AR 02 HYDREF 2018
ON 02 OCTOBER 2018**

**I'W BENDERFYNU/
FOR DECISION**

ADDENDUM



ADDENDUM – Area West

<i>Application Number</i>	W/37575
<i>Proposal & Location</i>	TWO STOREY EXTENSION TO REAR OF DWELLING AT 13 PLAS PENWERN, JOHNSTOWN, CARMARTHEN, SA31 3PN

DETAILS:

CONSULTATIONS

Local Member – County Councillor G John has requested that the Planning Committee undertake a site visit given that the application property backs onto the properties of Llansteffan Road and Heol y Drindod and it will be difficult for the Committee to assess the potential impact upon existing properties without viewing the property. Councillor John also refers to the concerns raised by neighbours regarding the likely impact of the two storey extension.

Neighbours/Public - A further four letters of objection have been received from adjacent residents in respect of the application which reiterate previous concerns with particular regard to:-

- Loss of privacy;
- Loss of light;
- Impact upon the visual aspect of the estate.

APPRAISAL

The respondents' concerns have been addressed in the main report presented to the Committee wherein it is concluded that the proposal is in accord with the design and amenity objectives of Policies GP1 and GP6 of the Local Development Plan.

The recommendation to approve therefore remains unchanged.

***Y PWYLLGOR
CYNLLUNIO***

02 HYDREF 2018

***RHANBARTH Y
GORLLEWIN***

**PLANNING
COMMITTEE**

02 OCTOBER 2018

**AREA
WEST**

CEISIADAU YR ARGYMHELLIR EU BOD YN CAEL EU CYMERADWYO

APPLICATIONS RECOMMENDED FOR APPROVAL

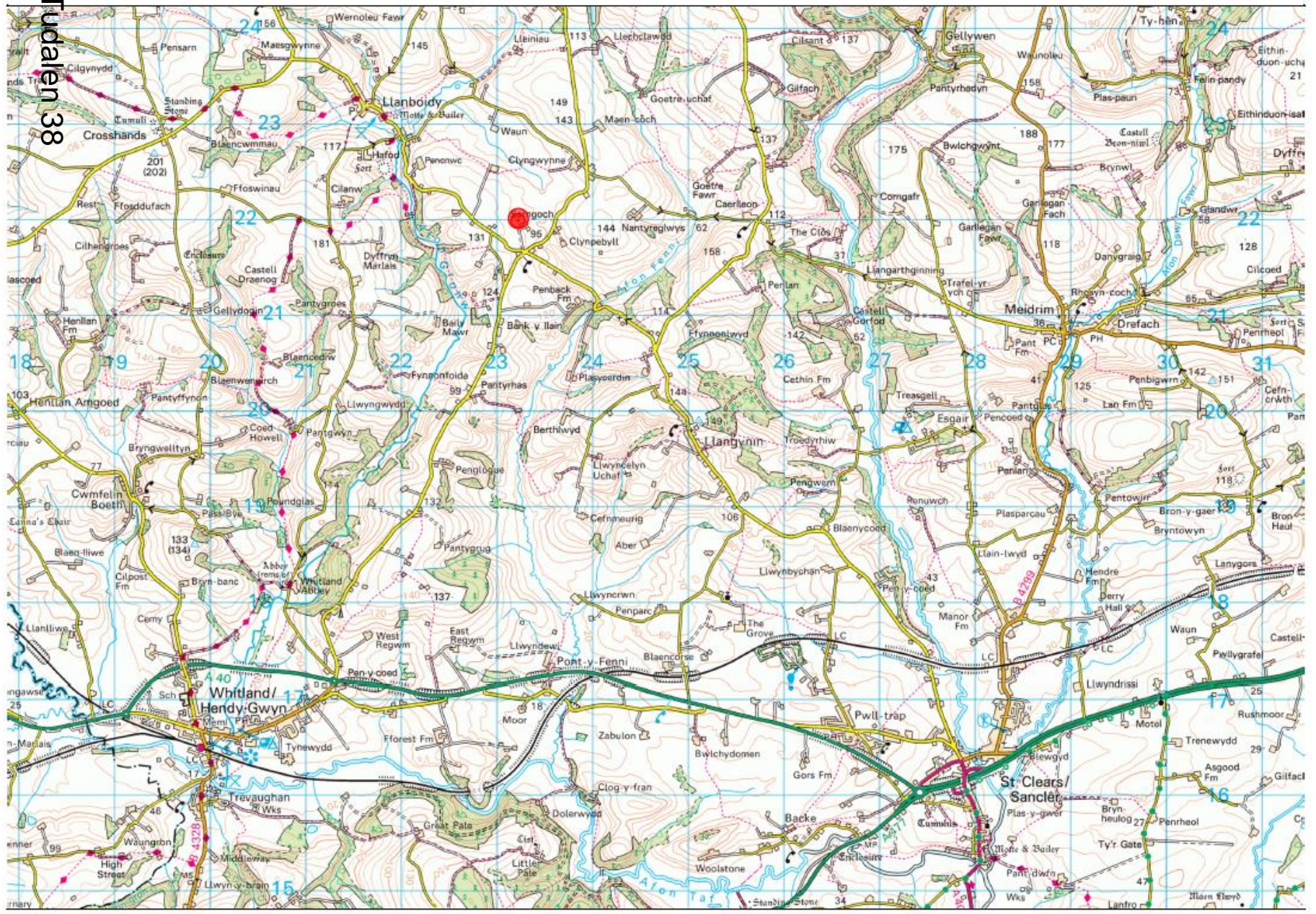
W/37444

Tudalen 37



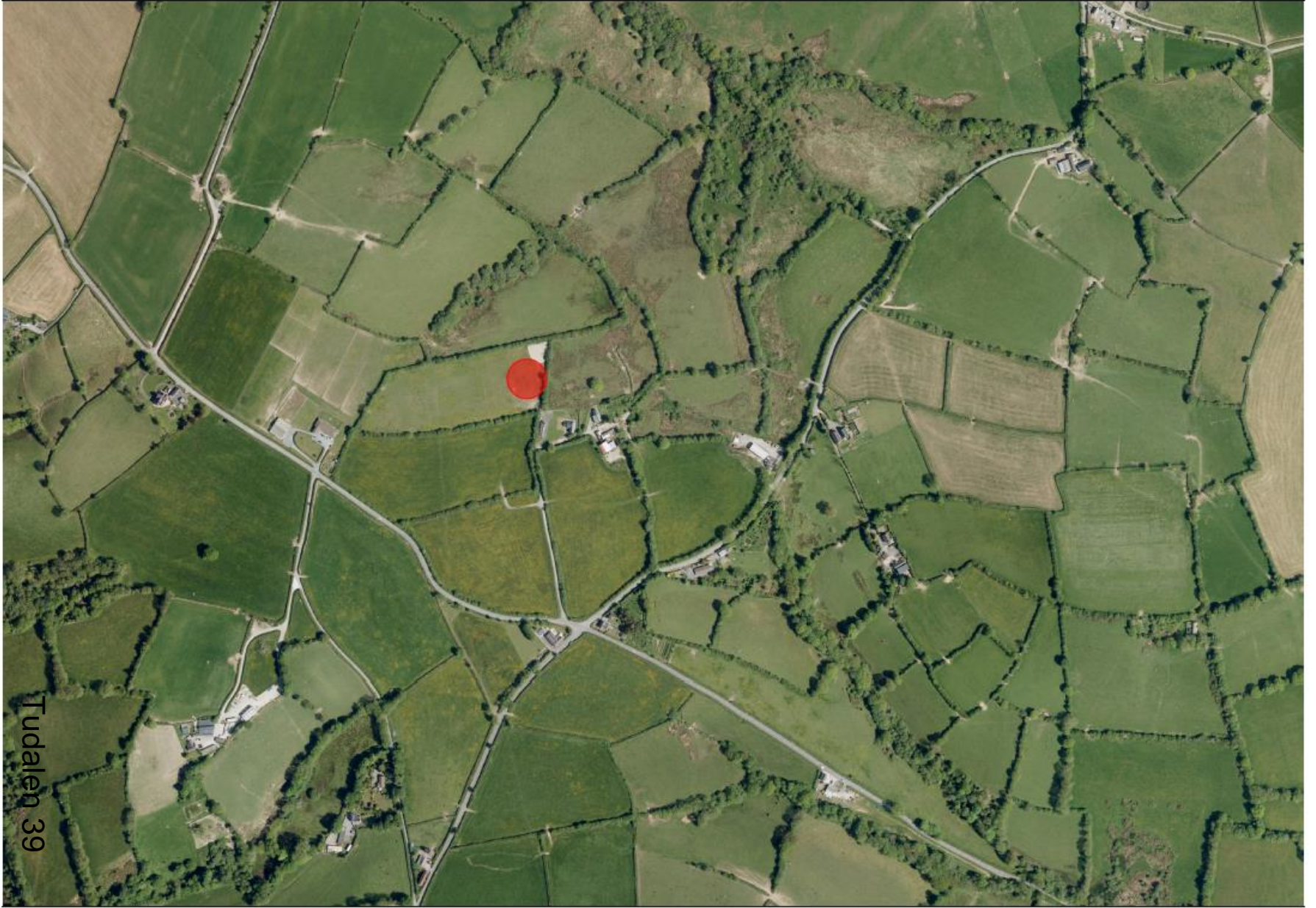
A Better Place...Environment

W/37444



Tudalen 38

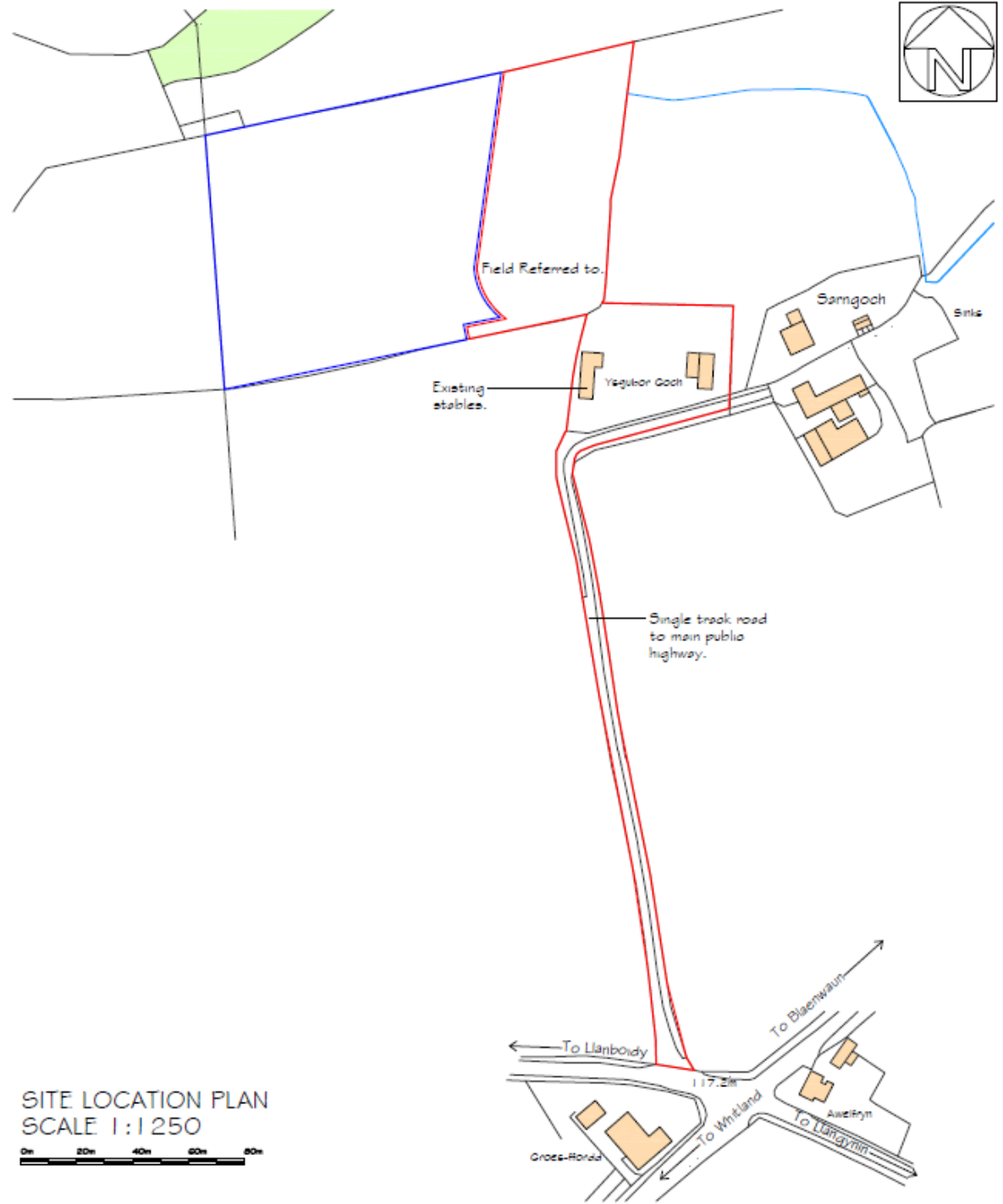
W/37444



Tudalen 39

W/37444

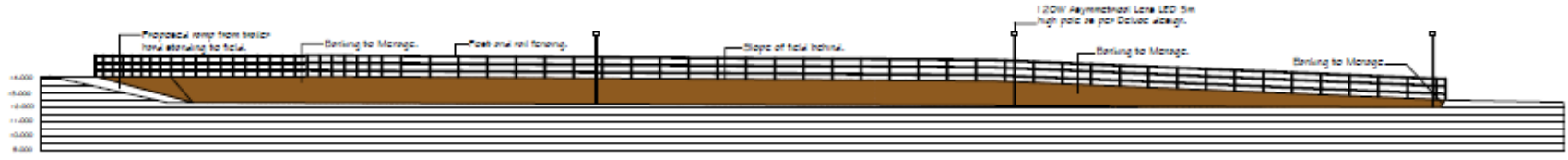
Tudalen 40



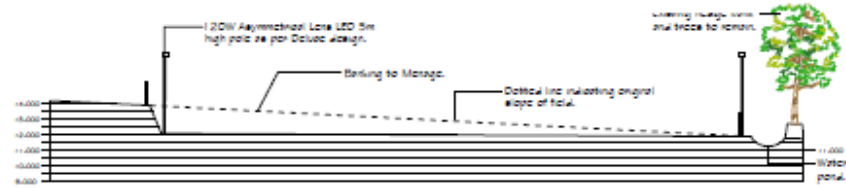
SITE LOCATION PLAN
SCALE 1:1250

0m 20m 40m 60m 80m

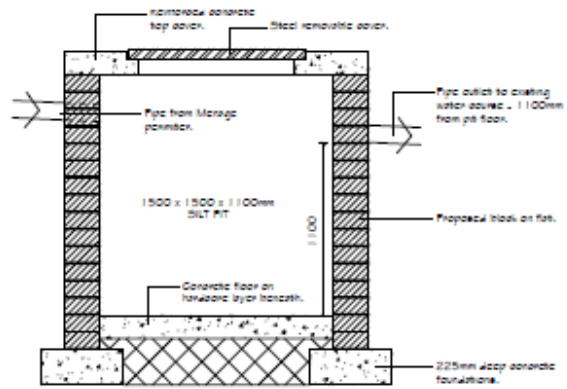
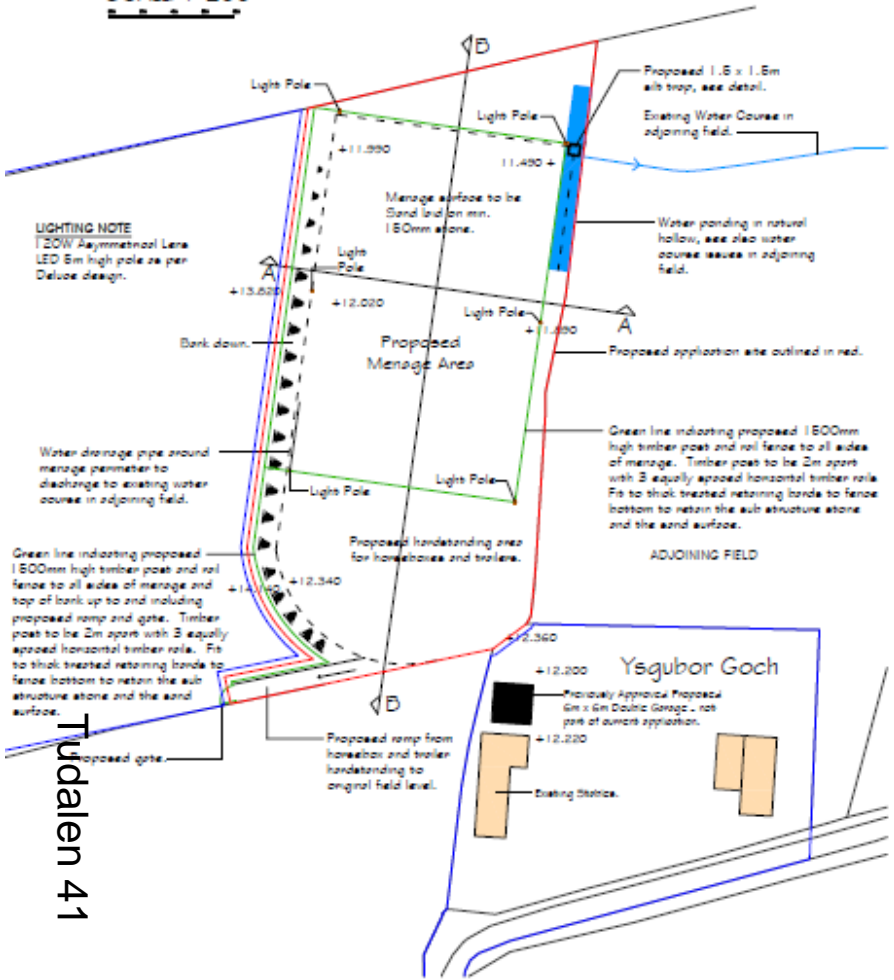
W/37444



SECTION B-B
SCALE 1:200



SECTION A-A
SCALE 1:200



SILT PIT DETAIL
SCALE 1:20



FENCE DETAIL
SCALE 1/50

THE DRAWING CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES AND FOR THE PROVISION OF ALL NECESSARY SERVICES IN ACCORDANCE WITH THE RELEVANT REGULATIONS. THE DRAWING CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY SERVICES IN ACCORDANCE WITH THE RELEVANT REGULATIONS.

Rev	Date	Drawn	Description
A	10/11/20	P.L.L.	Planning Drawings
B	10/11/20	P.L.L.	Amendments for Planning

KEN MORGAN
DESIGN & BUILDING MANAGEMENT LTD.
WELSH ARCHITECTURAL SERVICES WELSH PARTNERS
WELSH DESIGN ALLIANCE MEMBER www.kenmorgan.co.uk

Job title: Ysgubor Goch, Llanbwlly, Wiltshire.			
Drawing title: Proposed Layout.			
Job no. 16017H	Page No. 02	Drawing no. Revision suffix: 101	
Scale: 1/200	Page Date: 10/11/20	Drawn: A.D.	Checked:
1/200	Date: 10/11/20		
1/500	10/11/20		

Tudalen 41

W/37444

Tudalen 42



GALL EICH
CI BERI OFN
NEU NIWED I
ANHILLIAD FFISIM



**HYSBYSIAD
CYNLLUNING**

W/37444



Tudalen 43

W/37444

Tudalen 44



W/37444



Tudalen 45

W/37444

Tudalen 46



W/37444



Tudalen 47

W/37444

Tudalen 48



W/37444



Tudalen 49

W/37444

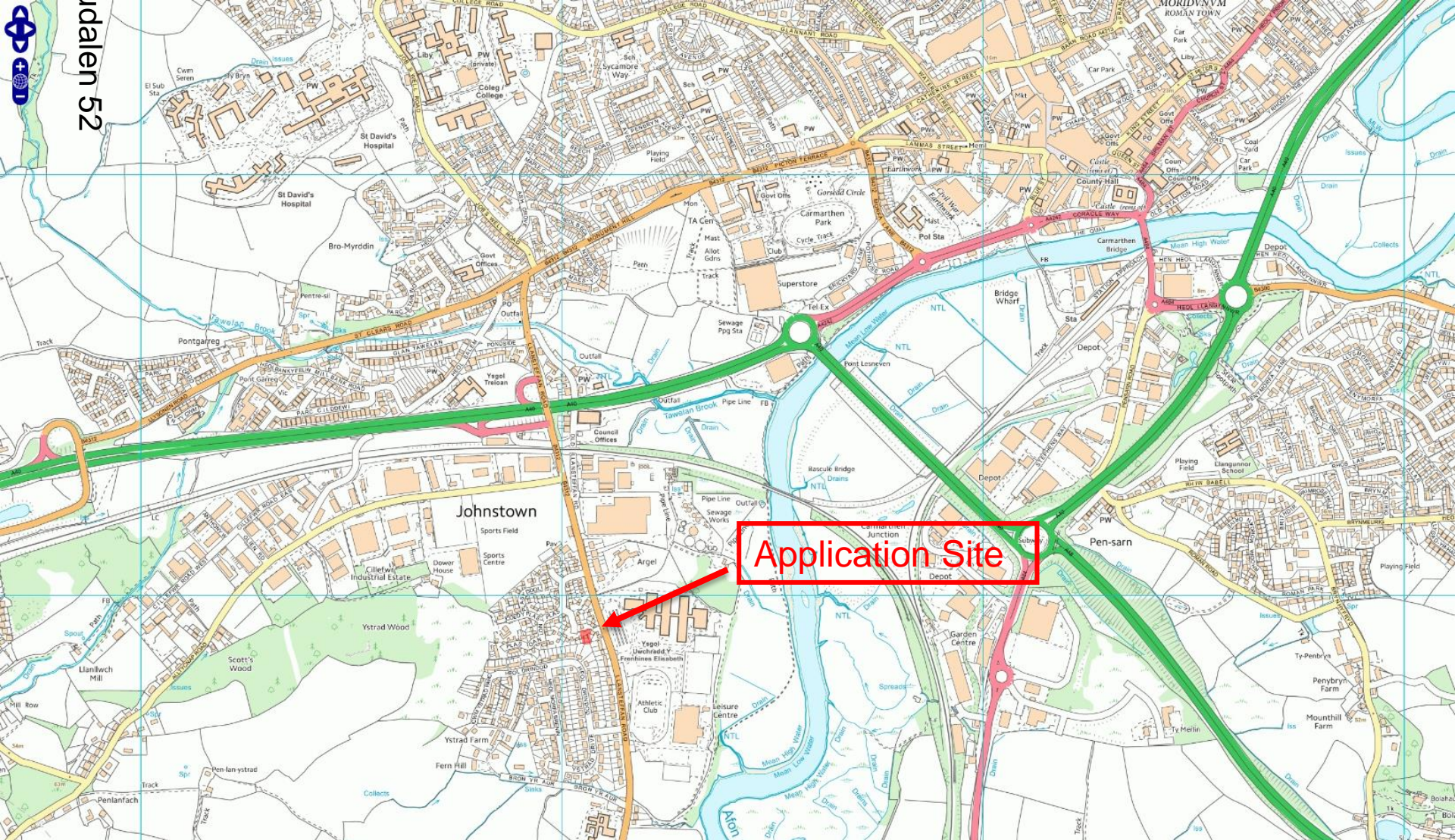
Tudalen 50



W/37575

W/37575

LOCATION PLAN



Application Site

Tudalen 52



W/37575

SITE PLAN



W/37575

AERIAL SITE PLAN

Tudalen 54



Application Site

W/37575

EXISTING AND PROPOSED PLANS

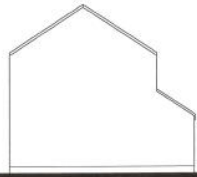
EXISTING



ground floor plan



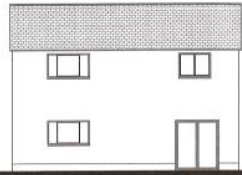
first floor plan



east elevation



northelevation



south elevation



west elevation



site plan 1:200

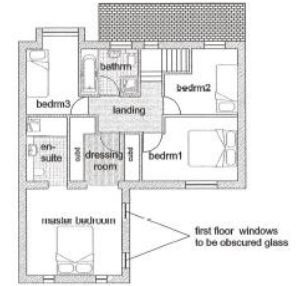


site location plan 1:1250

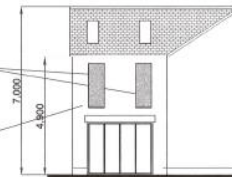
PROPOSED



ground floor plan



first floor plan



east elevation



northelevation



west elevation



south elevation

Tudalen 55

W/37575

SITE PHOTO

Tudalen 56



W/37575

SITE PHOTO



Tudalen 57

W/37575

SITE PHOTO

Tudalen 58



W/37575

SITE PHOTO



Tudalen 59

Mae'r dudalen hon yn wag yn fwriadol

*Ardal Del/
Area South*

**ADRODDIAD PENNAETH
CYNLLUNIO,
CYFARWYDDIAETH YR
AMGYLCHEDD**

**REPORT OF THE
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**AR GYFER PWYLLGOR CYNLLUNIO
CYNGOR SIR CAERFYRDDIN**

**TO CARMARTHENSHIRE COUNTY
COUNCIL'S PLANNING COMMITTEE**

**AR 02 HYDREF 2018
ON 02 OCTOBER 2018**

**I'W BENDERFYNU/
FOR DECISION**

**ATODIAD
ADDENDUM**



ADDENDUM – Area South

<i>Application Number</i>	S/36993
<i>Proposal & Location</i>	CONSTRUCTION OF 103 NO. DWELLINGHOUSES, ACCESS ROAD AND ASSOCIATED INFRASTRUCTURE AT LAND PART OF FORMER GOODIG HOTEL, PWLL ROAD, BURRY PORT, CARMARTHENSHIRE

DETAILS:

APPRAISAL

Amended Plan – In response to Dwr Cymru/Welsh Water’s initial observations highlighting the proximity of one of the proposed dwellings to their trunk water main, the applicant has now submitted an amended plan illustrating how they could re-route the trunk water main to safeguard the required 4m protection zone from their asset. Further consultation with DCWW will now be undertaken.

THIRD PARTY REPRESENTATIONS

In response to objections raised concerning the requirements to comply with the requirements of the Active Travel Plan (Wales) 2013. The Act requires local authorities to produce active travel plans and deliver improvements in active travel routes. In compliance with this requirement, CCC have prepared an Existing Route Map that identifies current walking/cycling routes and have also completed the next stage of implementation delivering the Integrated Network Map (INM).

As part of this planning application no specific off site walking or cycling provisions have been identified as needing attention because the existing local/adjacent highway network has sufficient provision.

***Y PWYLLGOR
CYNLLUNIO***

**PLANNING
COMMITTEE**

02 HYDREF 2018

02 OCTOBER 2018

RHANBARTH Y DE

AREA SOUTH

CEISIADAU YR ARGYMHELLIR EU BOD YN CAEL EU CYMERADWYO

APPLICATIONS RECOMMENDED FOR APPROVAL

S/36993

Tudalen 65

S/36993

Tudalen 66



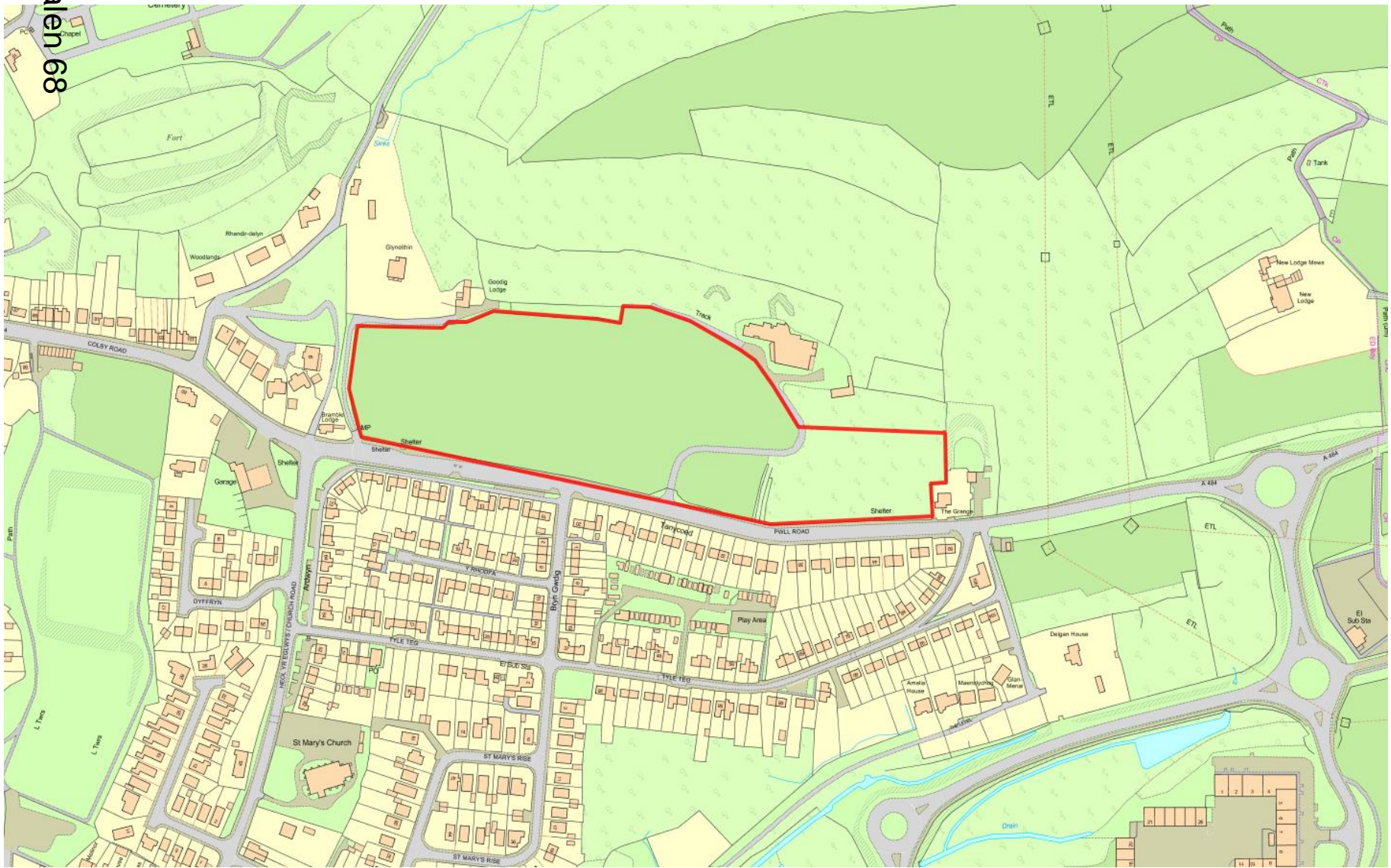
S/36993



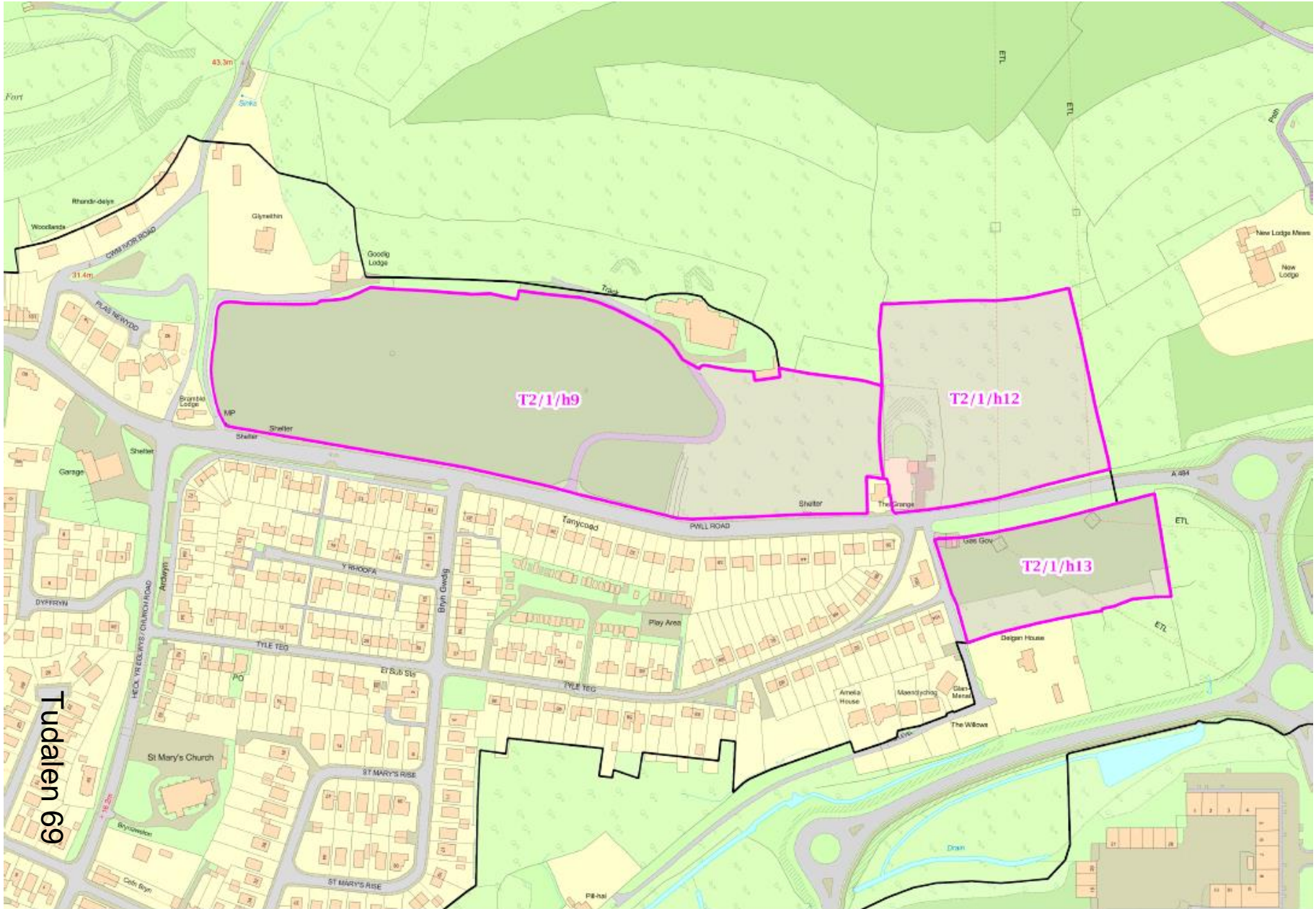
Tudalen 67

S/36993

Tudalen 68



S/36993



S/36993

Tudalen 70



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A - red line amended. 10.5.17



S/36993



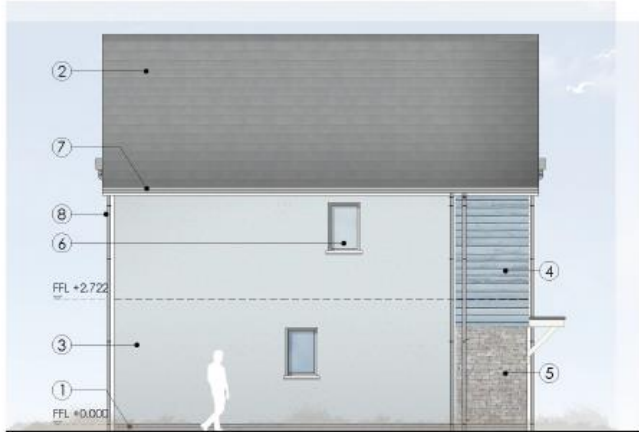
Tudalen 71

S/36993

Tudalen 72



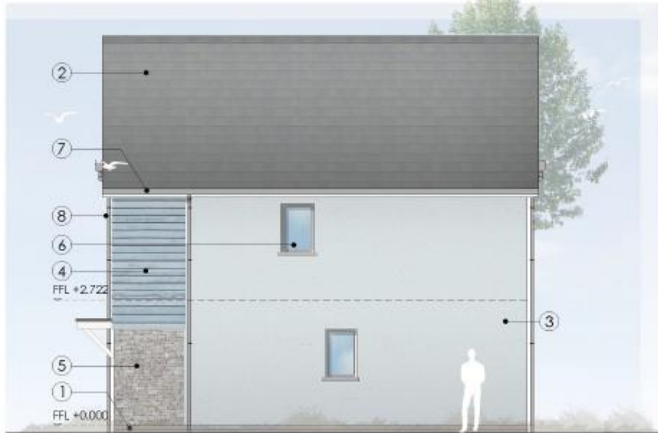
FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1



REAR ELEVATION
OPTION 1



RIGHT SIDE ELEVATION
OPTION 1

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.

S/36993



FRONT ELEVATION
OPTION 2



LEFT SIDE ELEVATION
OPTION 2



REAR ELEVATION
OPTION 2



RIGHT SIDE ELEVATION
OPTION 2

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.

Tudalen 73

S/36993

Tudalen 74



FRONT ELEVATION
OPTION 4



LEFT SIDE ELEVATION
OPTION 4



REAR ELEVATION
OPTION 4



RIGHT SIDE ELEVATION
OPTION 4

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles, Approved Concrete Tiles, Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors, Colour White.
- ⑦ Upvc fascias and soffits, Colour White.
- ⑧ Upvc Rainwater Goods, Colour White.

S/36993

Tudalen 75



FIRST FLOOR PLAN OPTIONS A1,2,3,4,6



GROUND FLOOR PLAN OPTIONS A1,2,3,4,6

OPTION A1 PLANS
Scale 1:100 @ A3

2249-200-01 Plans
2 Bedroom House | 764 sq ft



Pen-y-Porth, Burry Port.
HOUSE TYPE A1 2 Bedroom House | 764 sq ft

S/36993

Tudalen 76



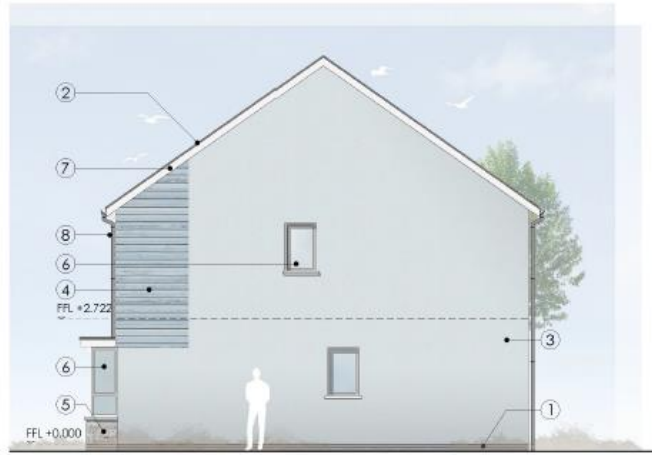
FRONT ELEVATION
OPTION 5



LEFT SIDE ELEVATION
OPTION 5



REAR ELEVATION
OPTION 5



RIGHT SIDE ELEVATION
OPTION 5

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wc³ finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.

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Tudalen 77

Pen-y-Porth, Burry Port.
HOUSE TYPE A5 2 Bedroom House | 764 sq ft

OPTION A5 PLANS
Scale 1:100 @ A3

2249-200-02 Plans
2 Bedroom House | 764 sq ft



S/36993

Tudalen 78



FRONT ELEVATION
OPTION 5,7



LEFT SIDE ELEVATION
OPTION 5,7



REAR ELEVATION
OPTION 5,7



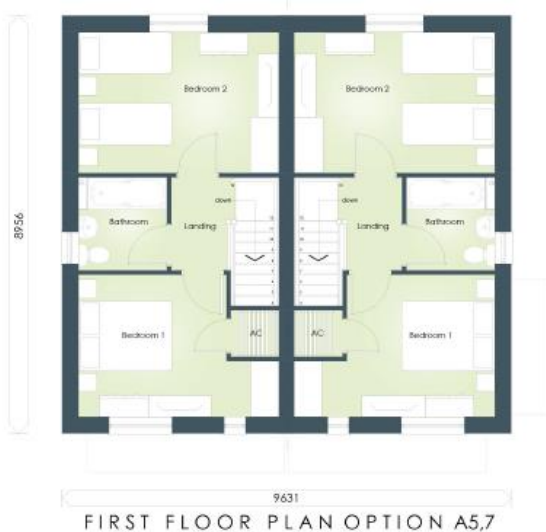
RIGHT SIDE ELEVATION
OPTION 5,7

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth, Colour Blue.
- ② Roof Tiles, Approved Concrete Tiles, Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding, Colours to be confirmed.
- ⑤ Approved Stone Wall Finish, Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors, Colour White.
- ⑦ Upvc fascias and soffits, Colour White.
- ⑧ Upvc Rainwater Goods, Colour White.

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Tudalen 79



Pen-y-Porth, Burry Port.
HOUSE TYPE A5,A7 2 Bedroom House | 764 sq ft

OPTION A5,A7 PLANS
Scale 1:100 @ A3

2249-200-03 Plans
2 Bedroom House | 764 sq ft

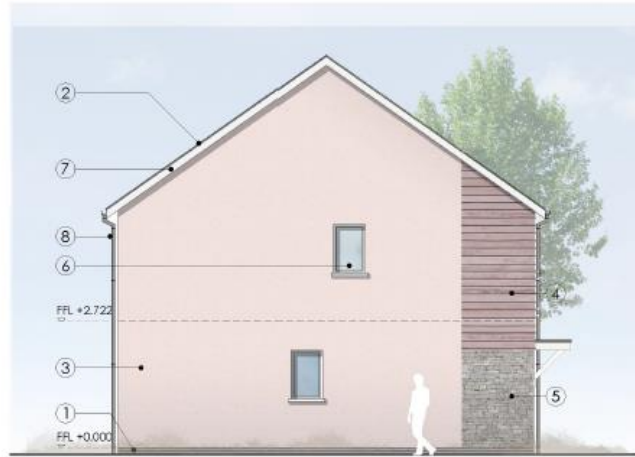


S/36993

Tudalen 80



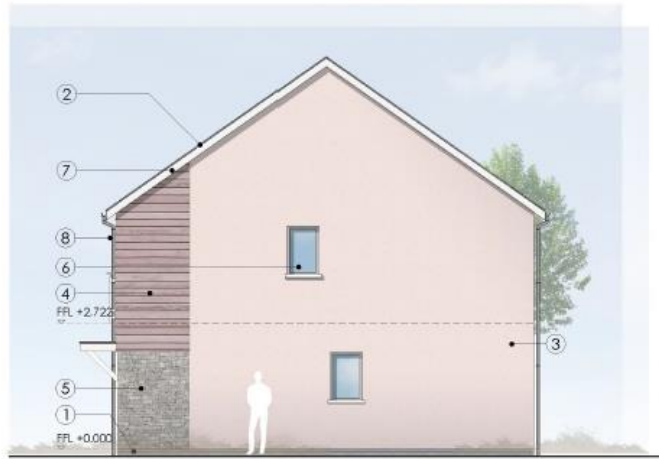
FRONT ELEVATION
OPTION 6



LEFT SIDE ELEVATION
OPTION 6



REAR ELEVATION
OPTION 6



RIGHT SIDE ELEVATION
OPTION 6

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.

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FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1



REAR ELEVATION
OPTION 1



RIGHT SIDE ELEVATION
OPTION 1

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.

Tudalen 81

Pen-y-Porth, Burry Port.
HOUSE TYPE B1 3 Bedroom House | 851 sq ft

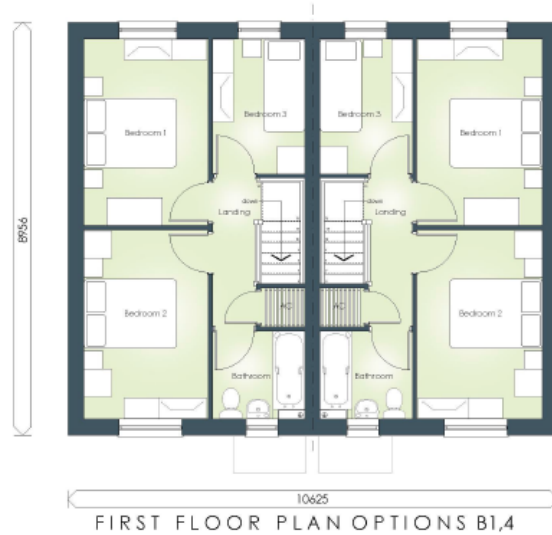
OPTION B1 ELEVATIONS
Scale 1:100 @ A3

2249-201-04 Elevations
3 Bedroom House | 851 sq ft



S/36993

Tudalen 82



Pen-y-Porth, Burry Port.
HOUSE TYPE B1 3 Bedroom House | 851 sq ft

OPTION B1 PLANS
Scale 1:100 @ A3

2249-201-01 Plans
3 Bedroom House | 851 sq ft



S/36993



FRONT ELEVATION
OPTION 2



LEFT SIDE ELEVATION
OPTION 2

- EXTERNAL MATERIAL FINISHES SCHEDULE:**
- ① Approved Engineering brickwork to plinth. Colour Blue.
 - ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
 - ③ Approved Through Coloured Render Wall Finish.
 - ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
 - ⑤ Approved Stone Wall Finish. Colour to be confirmed.
 - ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
 - ⑦ Upvc fascias and soffits. Colour White.
 - ⑧ Upvc Rainwater Goods. Colour White.



REAR ELEVATION
OPTION 2



RIGHT SIDE ELEVATION
OPTION 2

Tudalen 83

Pen-y-Porth, Burry Port.
HOUSE TYPE B2 3 Bedroom House | 851 sq ft

OPTION B2 ELEVATIONS
Scale 1:100 @ A3

2249-201-05 Elevations
3 Bedroom House | 851 sq ft



S/36993

Tudalen 84



FRONT ELEVATION
OPTION 3



LEFT SIDE ELEVATION
OPTION 3



REAR ELEVATION
OPTION 3



RIGHT SIDE ELEVATION
OPTION 3

EXTERNAL MATERIAL FINISHES SCHEDULE:

- 1 Approved Engineering brickwork to plinth. Colour Blue.
- 2 Roof Tiles. Approved Concrete Tiles. Colour Grey.
- 3 Approved Through Coloured Render Wall Finish.
- 4 Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- 5 Approved Stone Wall Finish. Colour to be confirmed.
- 6 Upvc Double Glazed Windows, Screens and Doors. Colour White.
- 7 Upvc fascias and soffits. Colour White.
- 8 Upvc Rainwater Goods. Colour White.

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Tudalen 85

Pen-y-Porth, Burry Port.
HOUSE TYPE B3 3 Bedroom House | 851 sq ft

OPTION B3 PLANS
Scale 1:100 @ A3

2249-201-02 Plans
3 Bedroom House | 851 sq ft



S/36993



FRONT ELEVATION
OPTION 4



LEFT SIDE ELEVATION
OPTION 4

- EXTERNAL MATERIAL FINISHES SCHEDULE:**
- ① Approved Engineering brickwork to plinth, Colour Blue.
 - ② Roof Tiles, Approved Concrete Tiles, Colour Grey.
 - ③ Approved Through Coloured Render Wall Finish.
 - ④ Approved Fibre Cement Weatherboard Cladding, Colours to be confirmed.
 - ⑤ Approved Stone Wall Finish, Colour to be confirmed.
 - ⑥ Upvc Double Glazed Windows, Screens and Doors, Colour White.
 - ⑦ Upvc fascias and soffits, Colour White.
 - ⑧ Upvc Rainwater Goods, Colour White.



REAR ELEVATION
OPTION 4

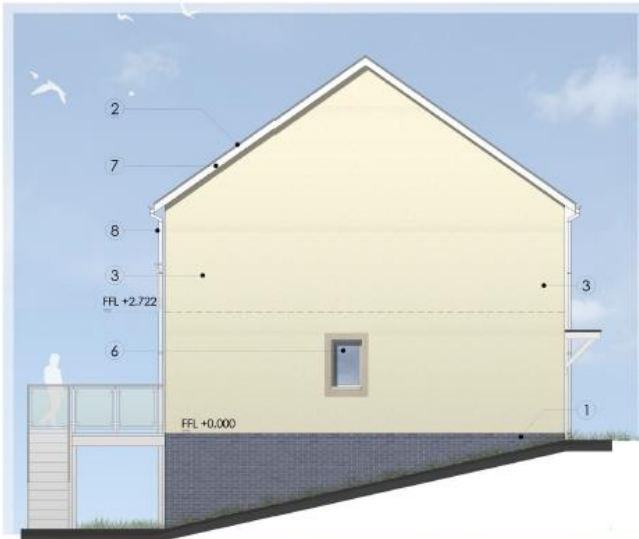


RIGHT SIDE ELEVATION
OPTION 4

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FRONT ELEVATION
OPTION 5



LEFT SIDE ELEVATION
OPTION 5



REAR ELEVATION
OPTION 5



RIGHT SIDE ELEVATION
OPTION 5

EXTERNAL MATERIAL FINISHES SCHEDULE:

- 1 Approved Engineering brickwork to plinth. Colour Blue.
- 2 Roof Tiles, Approved Concrete Tiles. Colour Grey.
- 3 Approved Through Coloured Render Wall Finish.
- 4 Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- 5 Approved Stone Wall Finish. Colour to be confirmed.
- 6 Upvc Double Glazed Windows, Screens and Doors. Colour White.
- 7 Upvc fascias and soffits. Colour White.
- 8 Upvc Rainwater Goods. Colour White.

Tudalen 87

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Tudalen 88



10425
FIRST FLOOR PLAN OPTIONS B5,6



10425
GROUND FLOOR PLAN OPTIONS B5,6

Pen-y-Porth, Burry Port.
HOUSE TYPE B5 3 Bedroom House | 851 sq ft

OPTION B5 PLANS
Scale 1:100 @ A3

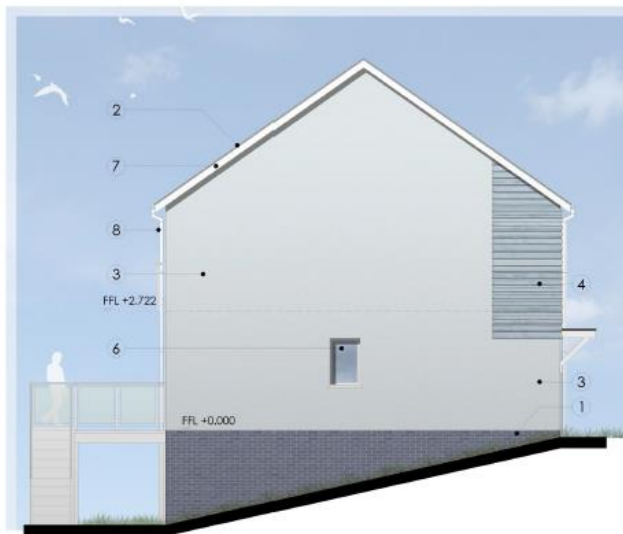
2249-201-03 Plans
3 Bedroom House | 851 sq ft



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FRONT ELEVATION
OPTION 6



LEFT SIDE ELEVATION
OPTION 6

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.



REAR ELEVATION
OPTION 6



RIGHT SIDE ELEVATION
OPTION 6

Tudalen 89

Pen-y-Porth, Burry Port.
HOUSE TYPE B6 3 Bedroom House | 851 sq ft

OPTION B6 ELEVATIONS
Scale 1:100 @ A3

2249-201-09 Elevations
3 Bedroom House | 851 sq ft



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Tudalen 90



FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1



REAR ELEVATION
OPTION 1



RIGHT SIDE ELEVATION
OPTION 1

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.

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FIRST FLOOR PLAN OPTION C1



GROUND FLOOR PLAN OPTION C1

OPTION C1 PLANS
Scale 1:100 @ A3

2249-202-01 Plans
4 Bedroom House | 1086 sq ft

Tudalen 91

Pen-y-Porth, Burry Port.
HOUSE TYPE C1 4 Bedroom House | 1086 sq ft



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FRONT ELEVATION
OPTION 2



LEFT SIDE ELEVATION
OPTION 2



REAR ELEVATION
OPTION 2



RIGHT SIDE ELEVATION
OPTION 2

EXTERNAL MATERIAL FINISHES SCHEDULE:

- 1 Approved Engineering brickwork to plinth. Colour Blue.
- 2 Roof Tiles. Approved Concrete Tiles. Colour Grey.
- 3 Approved Through Coloured Render Wall Finish.
- 4 Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- 5 Approved Stone Wall Finish. Colour to be confirmed.
- 6 Upvc Double Glazed Windows, Screens and Doors. Colour White.
- 7 Upvc fascias and soffits. Colour White.
- 8 Upvc Rainwater Goods. Colour White.

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GROUND FLOOR PLAN OPTION C2



FIRST FLOOR PLAN OPTION C2

Tudalen 93

Perry-Porth, Burry Port.
HOUSE TYPE C2 4 Bedroom House | 1086 sq ft

OPTION C2 PLANS
Scale 1:100 @ A3

2249-202-02 Plans
4 Bedroom House | 1086 sq ft



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Tudalen 94



FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1



REAR ELEVATION
OPTION 1



RIGHT SIDE ELEVATION
OPTION 1

Pen-y-Porth, Burry Port.
HOUSE TYPE D1 4 Bedroom House | 1488 sq ft

OPTION D1 ELEVATIONS
Scale 1:150 @ A3

2249- 203- 02 Elevations
4 Bedroom House | 1488 sq ft



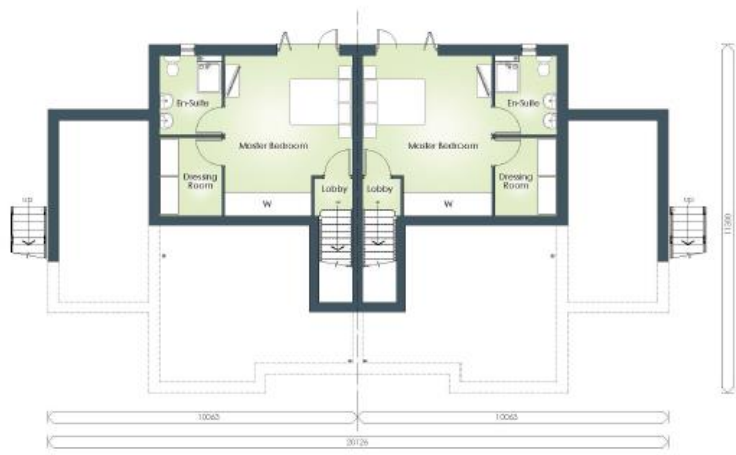
S/36993



GROUND FLOOR PLAN
8 PERSON 4 BEDROOM HOUSE TYPE



FIRST FLOOR PLAN
8 PERSON 4 BEDROOM HOUSE TYPE



LOWER GROUND FLOOR PLAN
8 PERSON 4 BEDROOM HOUSE TYPE

Tudalen 95

Pen-y-Porth, Burry Port.

HOUSE TYPE D1 4 Bedroom House | 1488 sq ft

OPTION D1 PLANS
Scale 1:150 @ A3

2249-203-01 Plans
4 Bedroom House | 1488 sq ft

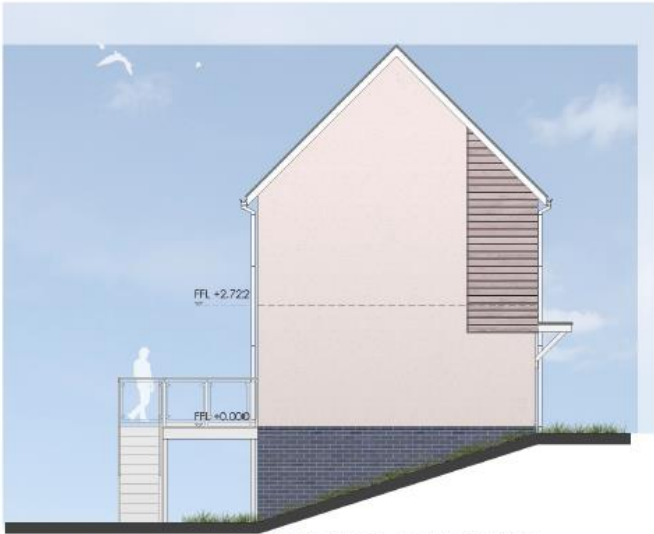


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Tudalen 96



FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1



REAR ELEVATION
OPTION 1



RIGHT SIDE ELEVATION
OPTION 1

Pen-y-Porth, Bury Port.
HOUSE TYPE E1 4 Bedroom House WF | 1082 sq ft

OPTION E1 Elevations
Scale 1:100 @ A3

2249-204-02 Elevations
4 Bedroom House WF | 1082 sq ft



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GROUND FLOOR PLAN
6 PERSON 4 BEDROOM HOUSE TYPE WF



FIRST FLOOR PLAN
6 PERSON 4 BEDROOM HOUSE TYPE WF

Tudalen
197

Perth-Porth, Burry Port.
HOUSE TYPE E1 4 Bedroom House WF | 1082 sq ft

OPTION E1 Plans
Scale 1:100 @ A3

2249-204-01 Plans
4 Bedroom House WF | 1082 sq ft

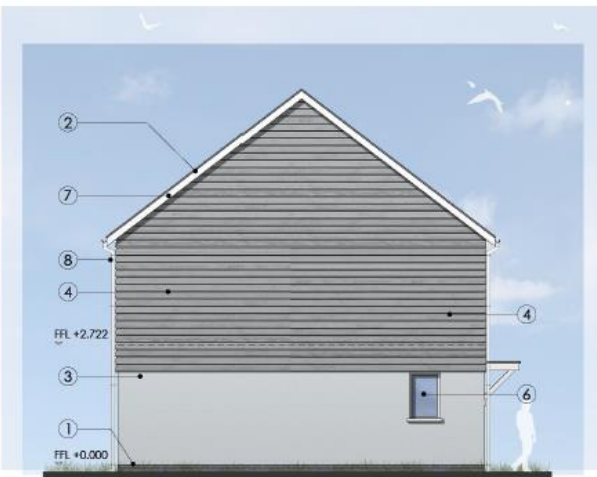


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Tudalen 98



FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1



REAR ELEVATION
OPTION 1



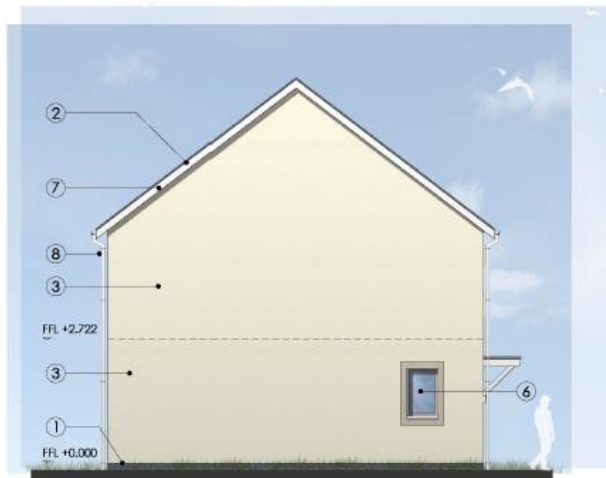
RIGHT SIDE ELEVATION
OPTION 1

- EXTERNAL MATERIAL FINISHES SCHEDULE:**
- ① Approved Engineering brickwork to plinth. Colour Blue.
 - ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
 - ③ Approved Through Coloured Render Wall Finish.
 - ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
 - ⑤ Approved Stone Wall Finish. Colour to be confirmed.
 - ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
 - ⑦ Upvc fascias and soffits. Colour White.
 - ⑧ Upvc Rainwater Goods. Colour White.

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FRONT ELEVATION
OPTION 2



LEFT SIDE ELEVATION
OPTION 2

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.



REAR ELEVATION
OPTION 2



RIGHT SIDE ELEVATION
OPTION 2

Tudalen 99

Pen-y-Porth, Burry Port.
HOUSE TYPE F2 2 Bedroom House | 857 sq ft

OPTION F2 ELEVATIONS
Scale 1:100 @ A3

2249-205-03 Elevations
2 Bedroom House | 857 sq ft



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Tudalen 100



GROUND FLOOR PLAN OPTIONS F1,2



FIRST FLOOR PLAN OPTIONS F1,2

Pen-y-Porth, Burry Port.
HOUSE TYPE F1 & F2 2 Bedroom House | 857 sq ft

OPTION F1 & F2 PLANS
Scale 1:100 @ A3

2249-205-01 Plans Rev A
2 Bedroom House | 857 sq ft



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FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.



REAR ELEVATION
OPTION 1



RIGHT SIDE ELEVATION
OPTION 1

Tudalen 101

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Tudalen 102



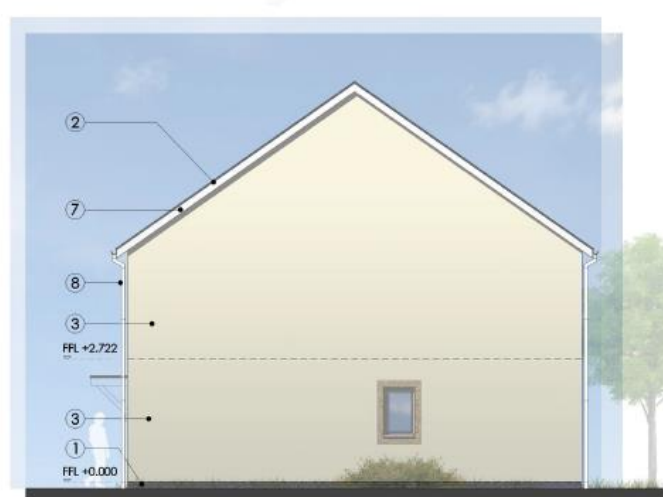
FRONT ELEVATION
OPTION 2



LEFT SIDE ELEVATION
OPTION 2



REAR ELEVATION
OPTION 2



RIGHT SIDE ELEVATION
OPTION 2

EXTERNAL MATERIAL FINISHES SCHEDULE:

- 1 Approved Engineering brickwork to plinth, Colour Blue.
- 2 Roof Tiles, Approved Concrete Tiles, Colour Grey.
- 3 Approved Through Coloured Render Wall Finish.
- 4 Approved Fibre Cement Weatherboard Cladding, Colours to be confirmed.
- 5 Approved Stone Wall Finish, Colour to be confirmed.
- 6 Upvc Double Glazed Windows, Screens and Doors, Colour White.
- 7 Upvc fascias and soffits, Colour White.
- 8 Upvc Rainwater Goods, Colour White.

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FIRST FLOOR PLAN OPTIONS G1,G2



GROUND FLOOR PLAN OPTIONS G1,G2

Tudalen 103

Pen-y-Porth, Burry Port.
HOUSE TYPE G1, G2 4 Bedroom House

OPTION G1 PLANS
| 1237 sq ft Scale 1:100 @ A3

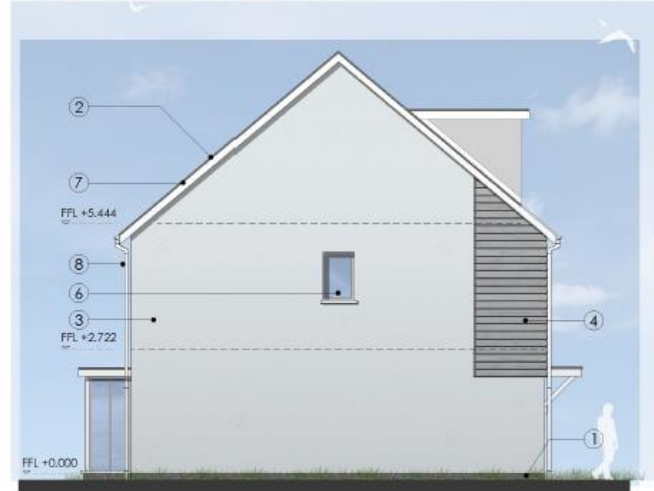
2249-206-01 Plans Rev A
4 Bedroom House | 1237 sq ft



S/36993



FRONT ELEVATION
OPTION 1

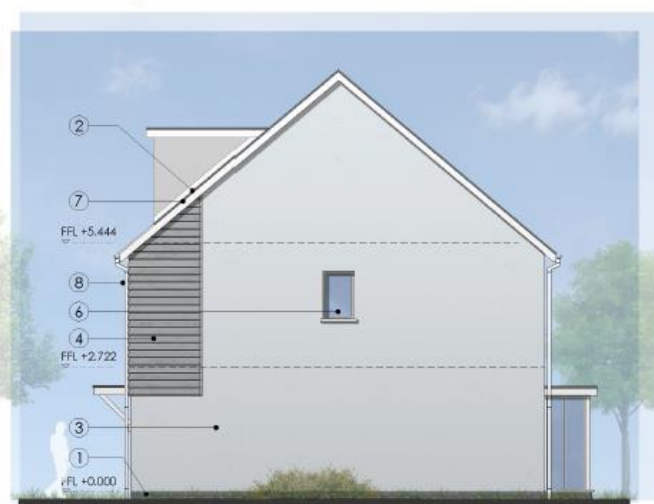


LEFT SIDE ELEVATION
OPTION 1

- EXTERNAL MATERIAL FINISHES SCHEDULE:**
- ① Approved Engineering brickwork to plinth. Colour Blue.
 - ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
 - ③ Approved Through Coloured Render Wall Finish.
 - ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
 - ⑤ Approved Stone Wall Finish. Colour to be confirmed.
 - ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
 - ⑦ Upvc fascias and soffits. Colour White.
 - ⑧ Upvc Rainwater Goods. Colour White.



REAR ELEVATION
OPTION 1



RIGHT SIDE ELEVATION
OPTION 1

Pen-y-Porth, Burry Port.
HOUSE TYPE H1 4 Bedroom House | 1422 sq ft

OPTION H1 ELEVATIONS
Scale 1:100 @ A3

2249-207-02 Elevations
4 Bedroom House | 1422 sq ft



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FIRST FLOOR PLAN OPTION H1



SECOND FLOOR PLAN OPTION H1



GROUND FLOOR PLAN OPTION H1

Tudalen 105

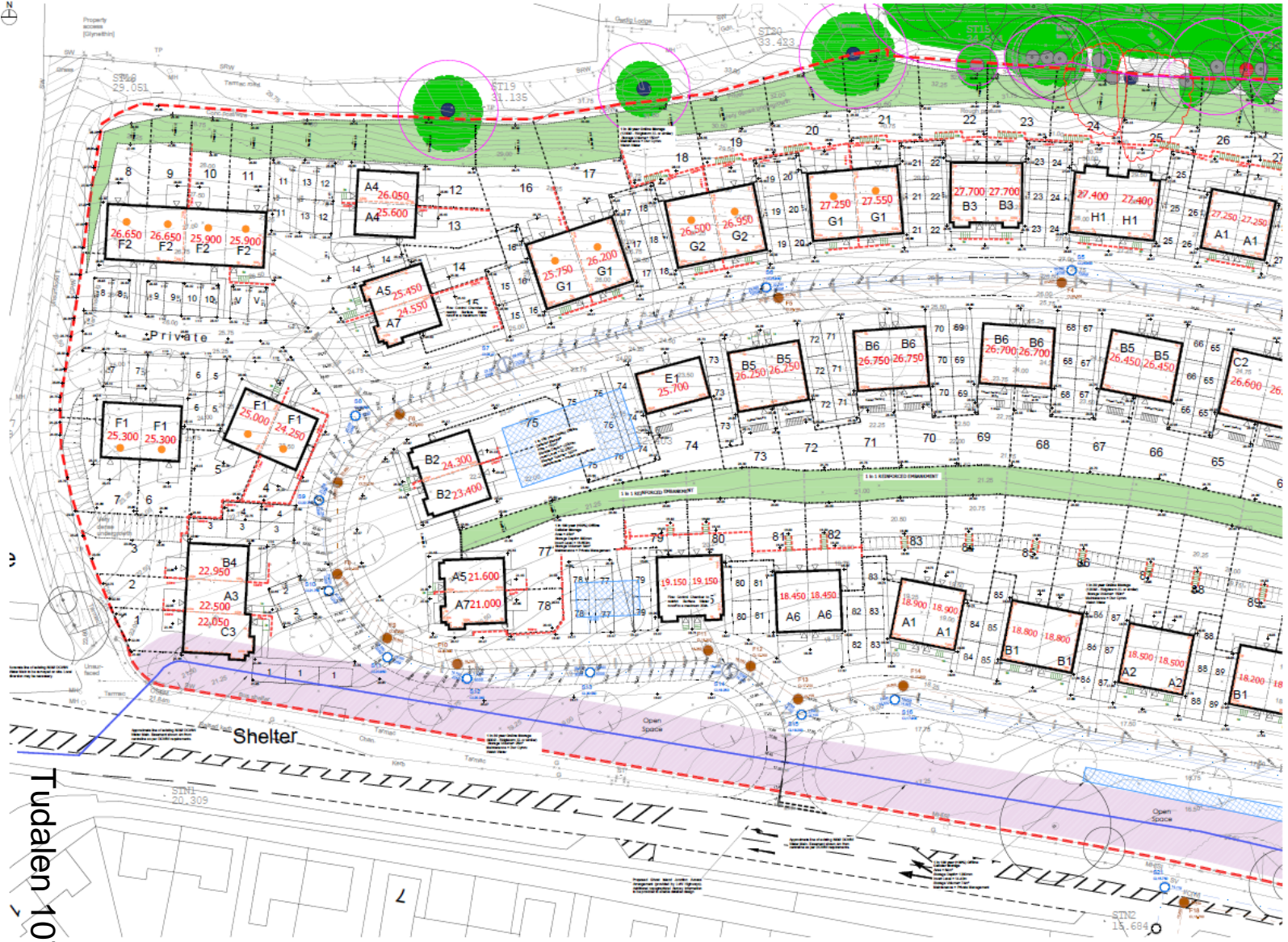
Pen-y-Porth, Burry Port.
HOUSE TYPE H1 4 Bedroom House | 1422 sq ft

OPTION H1 PLANS
 Scale 1:100 @ A3

2249-207-01 Plans
 4 Bedroom House | 1422 sq ft



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GENERAL NOTES:
 The Contractor is to check and verify all building and site dimensions, levels and sewer layout levels of structure points before work starts. Any discrepancy is to be reported to Spring Design before work commences.
 The Contractor is to comply in all respects with current building legislation - building related operations, building regulations etc, whether or not specifically stated on this drawing.
 The drawing must be read with and checked against any other relevant and/or specialist documentation provided.
 The drawing is not intended to show details of foundations, ground conditions or ground construction. Each area of ground shall remain to support any structure indicated showing drainage. Road to be investigated for the Contractor. A suitable method of foundation should be provided showing all existing ground conditions. Any aspect of soil ground, disturbance or in situ, the ground, should be further investigated by a suitable expert if any ground condition shows unusual features for guidance only and should be further investigated by a suitable expert.
 Where existing trees are shown to be retained they should be subject to a Full Arborescence Inspection for safety.
 The existing ground levels along the limits of the proposed road are to be confirmed by the Contractor before work commences.
 All works which are to be subject of a Section 10 Agreement are to be undertaken in accordance with the Local Highway Authority's agreed specifications and to the satisfaction of the Local Highway Authority's Engineer.
 All construction methods and materials employed are to be in accordance with the current code and standards in accordance with the current construction regulations as set out and confirmed by suitable C.S.R. testing in accordance with Construction Control Board requirements.
 No responsibility will be taken for any construction work undertaken prior to receipt of technical approval for the proposed construction, or where none is not required strictly in accordance with the drawing.
 A note on upper levels should not be treated as a final level. Ground levels should be confirmed by suitable means. All levels are indicated as a use of appropriate datum or indicated from appropriate datum indicated.

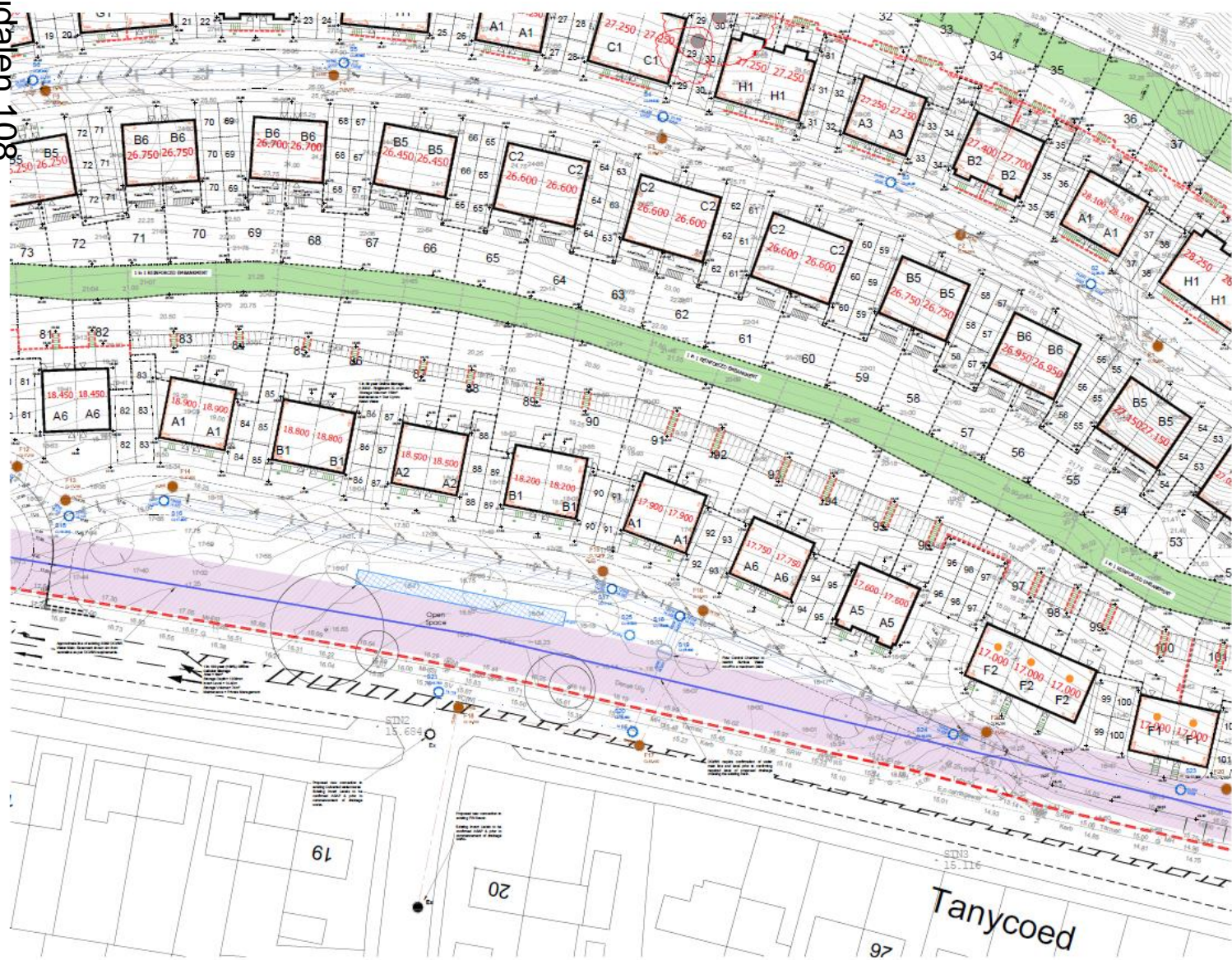
Tudalen 107

REV	DATE	DESCRIPTION	BY	STATUS	DRAWN	CLIENT
A	02.04.18	Levels amended and storm drainage added.	MCC	PRELIMINARY	MCC	Publ Group
B	05.06.18	Main embankment and lower garden levels amended.	COM		Checked: CTW	Project: Pwll Road, Barry Port
C	26.06.18	Updated to latest site layout following planners comments.	COM		Date: Feb 2018	Title: Engineering Layout (3 of 4)
Scale: 1:250 (A1) Ref: 2249/520-1 Rev: 0						



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Tudalen 108



GENERAL NOTES:

The Contractor is to check and verify all building and site dimensions, levels and water level levels at construction points before work starts. Any discrepancy is to be reported to Spring Design before work commences.

The Contractor is to comply with all relevant work control, signage, hoarding, drainage, identification, safety, regulations, etc. whether or not specifically stated in this drawing.

The drawing must be read with care and checked against any existing legislation or other applicable documentation provided.

This drawing is not intended to show details of foundations, ground conditions or ground water levels. Each area of ground shown shall be subject to a thorough check-out prior to the start of any construction by the contractor. The contractor is to be responsible for the ground conditions for all existing ground conditions. Any support or test ground conditions on or within the ground shall be further investigated by a relevant expert and any additional construction shall be subject to the guidance only and should be further investigated by a suitable expert.

Where existing trees are shown to be retained they should be protected in a full retention specification for safety.

The existing ground levels along the route of the proposed road are to be confirmed by the Contractor before work commences.

All works which are to be subject of a Section 38 Agreement are to be completed in accordance with the Local Highway Authority's current specifications and the satisfaction of the Local Highway Authority's Engineer.

All construction methods and materials employed are to be in accordance with the current code and engineering specifications. All road construction techniques are to be confirmed by suitable C.I.B.E. testing in accordance with Construction Contract Council requirements.

No responsibility will be taken for any construction work undertaken prior to receipt of relevant approvals for the construction, or where work is not completed in accordance with the drawings.

A number of items shown should not be treated as shown unless it is stated that the drawing is not to scale. All items shown should be checked against the relevant drawings and specifications. All items shown should be checked against the relevant drawings and specifications. All items shown should be checked against the relevant drawings and specifications.

This drawing is copyright and its use or reproduction without the permission of Spring Design Consultancy Limited. All rights are reserved until notices are paid in full. No responsibility will be taken for any design used for construction prior to receipt of relevant approvals.

REV	DATE	DESCRIPTION
A	05.04.18	1. Limits amended and main drainage added.
B	05.06.18	Main embankment and lower garden levels amended.
C	26.06.18	Updated to latest site layout following planners comments.

by
MCC
CMH
CMH

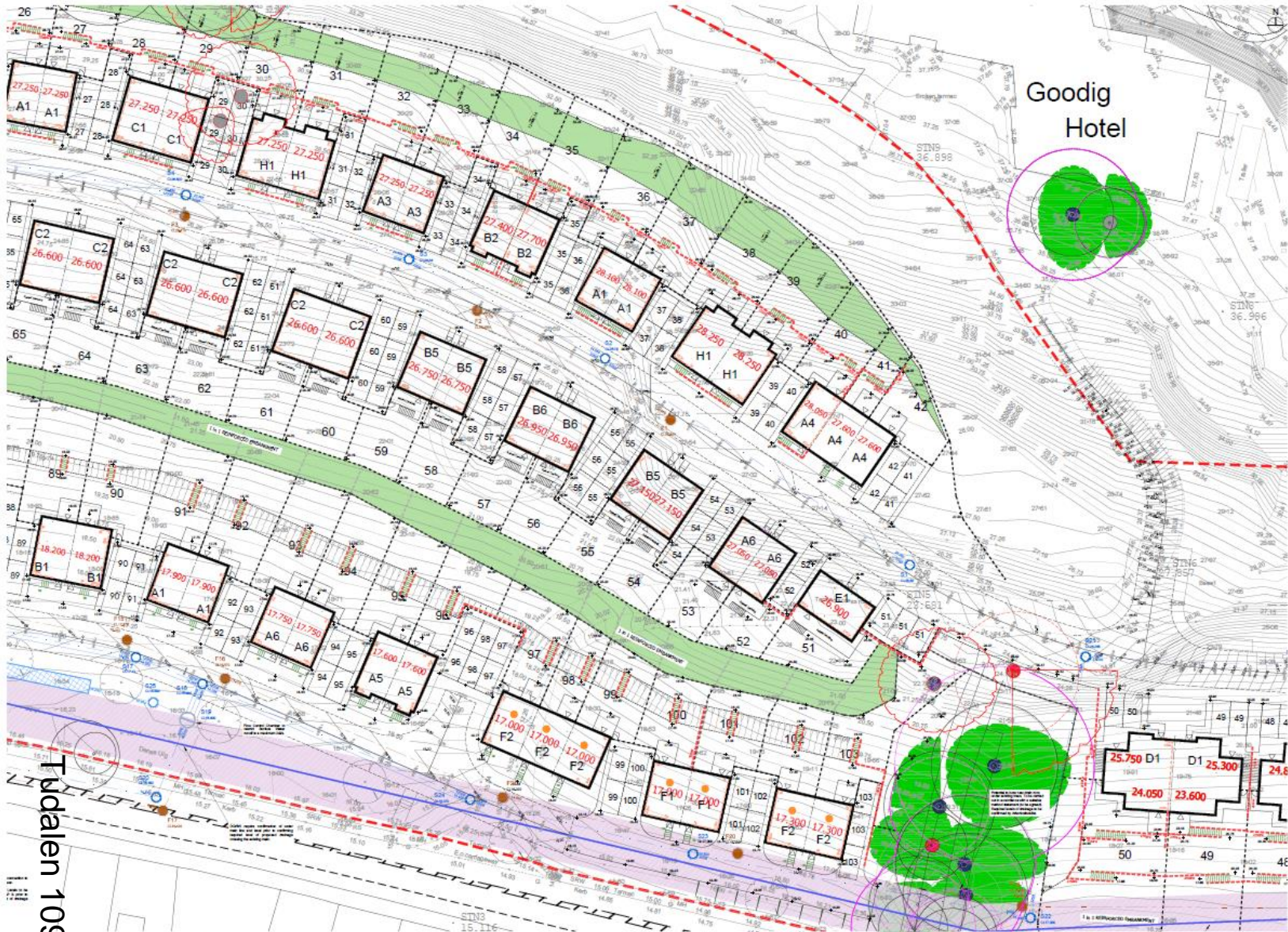
Status:
PRELIMINARY

Drawn: MCC
Checked: CTW
Date: Feb 2018
Scale: 1:250 (A1)

Client: Pobl Group
Project: Pwll Road, Barry Port
Title: Engineering Layout (2 of 6)
Ref: 2249/020-2
Rev: 0

spring
DESIGN
CONSULTANCY LIMITED
Unit 10, Clapham Road, Barry, South Wales
Mid Glamorgan CF64 0LN | 01496 688287
info@springdesign.co.uk

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GENERAL NOTES:

The Contractor is to check and verify all building and site dimensions, levels and areas (total levels of construction) before work starts. Any discrepancies are to be reported to Spring Design before commencement.

The Contractor is to comply in all respects with current building legislation including structural specifications, building regulations etc. (where not set specifically stated on this drawing).

The drawing must be read with and checked against any electronic geospatial or other associated documentation provided.

The drawing is not intended to show details of foundations, ground conditions or ground water table. Where a ground water table is shown, it is for information only. Ground water table information should be provided alongside for all existing ground conditions. Any aspect of that ground conditions not set within the ground, should be further investigated by a suitable expert. Any further investigation should include borehole logs for guidance only and should be further investigated by a suitable expert.

Where existing trees are shown to be retained they should be subject to a B.I.P. structural inspection for safety.

The existing ground levels along the route of the proposed road are to be confirmed by the Contractor before works commence.

All works which are to be the subject of a Section 55 Agreement are to be undertaken in accordance with the Local Highway Authority's current specifications and the instructions of the Local Highway Authority's Engineer.

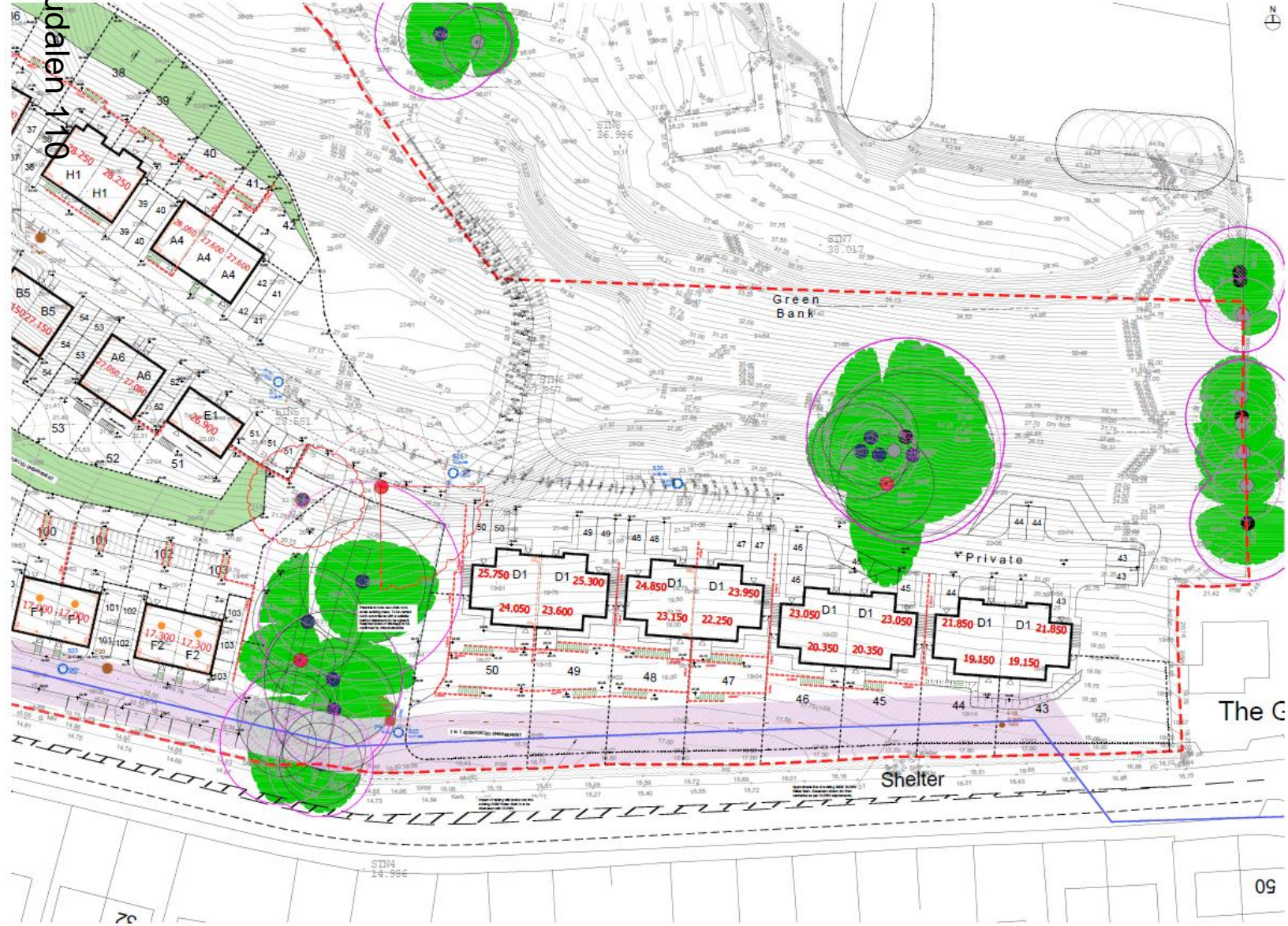
All construction methods and materials employed are to be undertaken in accordance with the current code of practice and specifications of the relevant standards. Materials are to be certified to suitable U.K. or E.U. standards in accordance with Construction Industry Council membership.

No responsibility will be taken for any construction work undertaken prior to receipt of relevant approvals for the intended construction, or other work, or not undertaken within in accordance with the drawing.

A notice of objection should not be issued closer to these issues unless it can be shown that it is not in accordance with the drawing. The contractor shall be responsible for the use of appropriate caution in accordance with professional best practice.

Tudalen 109

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GENERAL NOTES:

The Contractor is to check and verify all building and site dimensions, levels and exact level levels of construction points before work starts. Any discrepancies are to be reported to Spring Design before work commences.

The Contractor is to comply with all relevant local council building regulations - Building Standards Specifications, Building Regulations etc, whether or not specifically stated in this drawing.

The drawing must be read with and checked against any existing plans/specification or other approved documentation provided.

This drawing is not intended to show details of construction, ground conditions or ground water conditions. Such items of ground detail shall be reported and detailed (including drainage) must be investigated by the Contractor to suitable nature of foundation must be provided allowing for all existing ground conditions. Any depths or that ground conditions or or within the ground should be further investigated by a suitable suitably qualified geotechnical engineer. Typical values for guidance only and must be further investigated by a geotechnical engineer.

Where existing trees are shown to be retained they should be accepted in a full retention specification for safety.

The existing ground levels along the route of the proposed road are to be confirmed by the Contractor before work commences.

All roads which are to be the subject of a Section 38 Agreement are to be constructed in accordance with the Local Highway Authority's current specifications and to the satisfaction of the Local Highway Authority's Engineer.

All structures, foundations and materials specifications are to be in accordance with the current code and standards. All construction shall be in accordance with the specifications set out in the contract documents and shall be confirmed by suitable C.I.R.A. testing in accordance with Construction Industry Council Requirements.

No responsibility will be taken for any construction with consideration prior to receipt of technical approvals for the intended construction, or where work is not completed in accordance with the drawings.

A notice of access shall be obtained and the contract shall be completed prior to receipt of technical approvals for the intended construction, or where work is not completed in accordance with the drawings.

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Rev	Date	Description	By
A	20.06.18	Updated to latest site layout following client's comments.	CMH

Status: **PRELIMINARY**

Drawn: MCC
 Checked: CTW
 Date: Feb 2018
 Scale: 1:250 (A1)

Client: Publ Group
 Project: Pwll Road, Burry Port
 Title: Engineering Layout (M of 6)
 Ref: 2248/520-4
 Rev: A



S/36993

386.Goodly Hotel

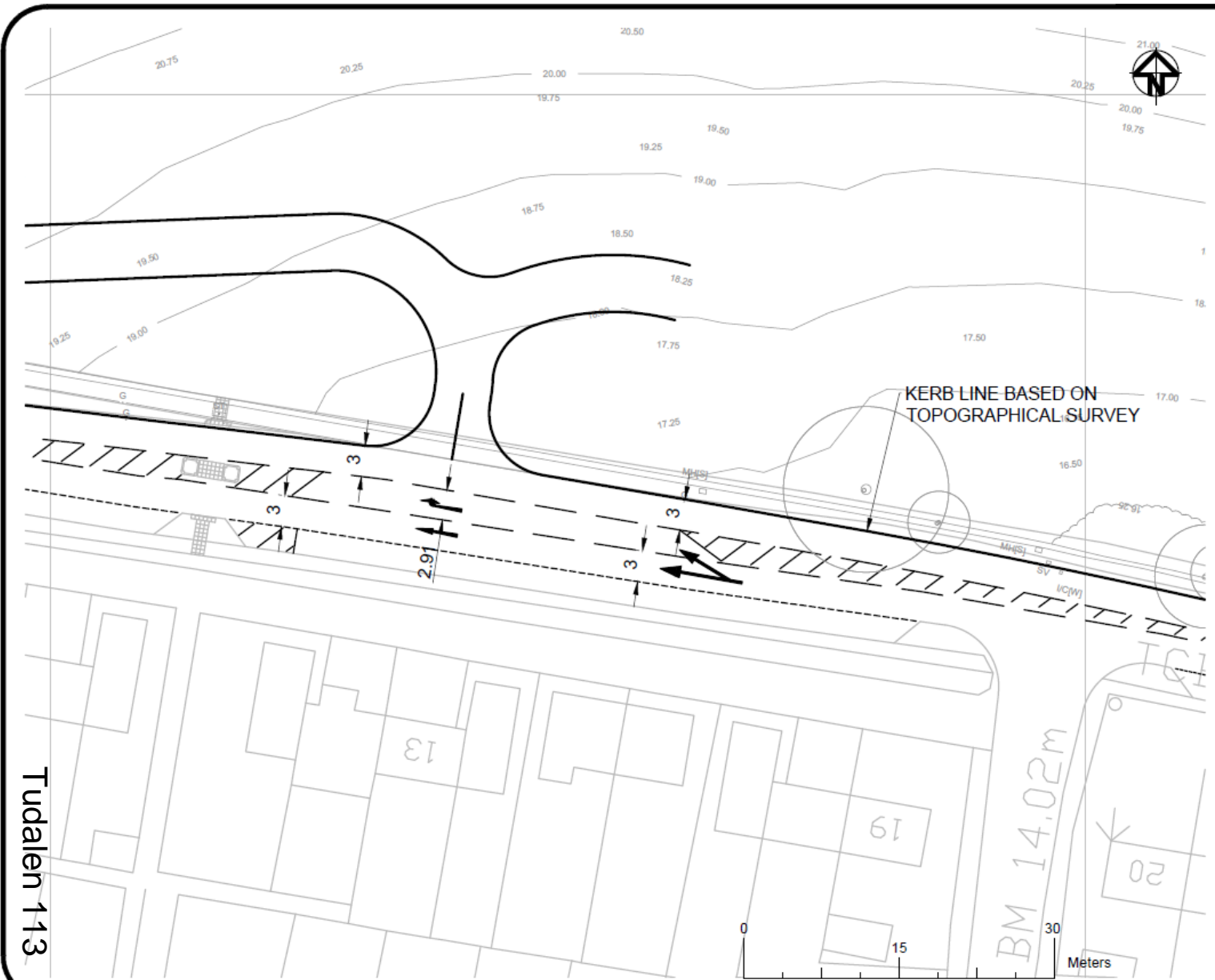
legend

-  proposed bridge
-  proposed new road (width 2.5m)
-  existing road and bridge
-  proposed cable bridge crossing
-  proposed lot
-  existing garden or other natural or semi-natural space
-  existing water or watercourse or watercourse
-  existing watercourse or watercourse
-  proposed new garden or other natural or semi-natural space
-  proposed new garden or other natural or semi-natural space
-  proposed tree
-  proposed tree
-  proposed tree
-  proposed tree



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General Notes

NOTES

1. ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
2. DO NOT SCALE THIS DRAWING.
3. ALL LEVELS ARE IN METRES ABOVE ORDNANCE DATUM (AOD).
4. ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER.
5. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ARCHITECTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS.
6. THE SPECIFICATION FOR THE WORKS SHALL BE THE DEPARTMENT OF TRANSPORT SPECIFICATION FOR HIGHWAY WORKS 1998 AS AMENDED BY THE LOCAL HIGHWAY AUTHORITY HIGHWAYS DESIGN GUIDE.
7. COPYRIGHT OF THIS DRAWING IS RETAINED BY THE ENGINEER AND IT MUST NOT BE REPRODUCED IN WHOLE OR PART WITHOUT WRITTEN CONSENT.

A For Discussion		
No.	Reviser/Issue	Date

Client Name and Address

LvW Highways
 Lvw Highways Ltd
 25 Europa
 25 Europa Linker
 Carrington
 MANCHESTER
 M20 2RN
 Tel: 01287 200786
 Fax: 01766 236925

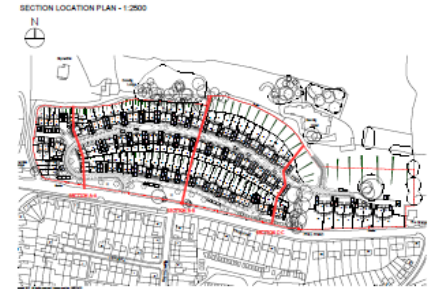
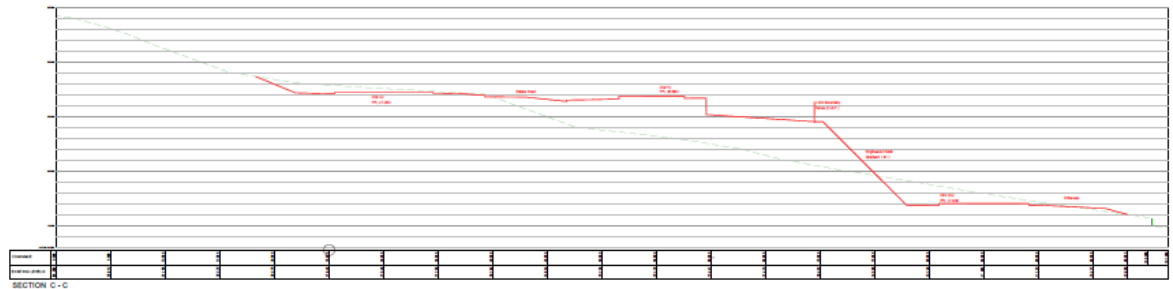
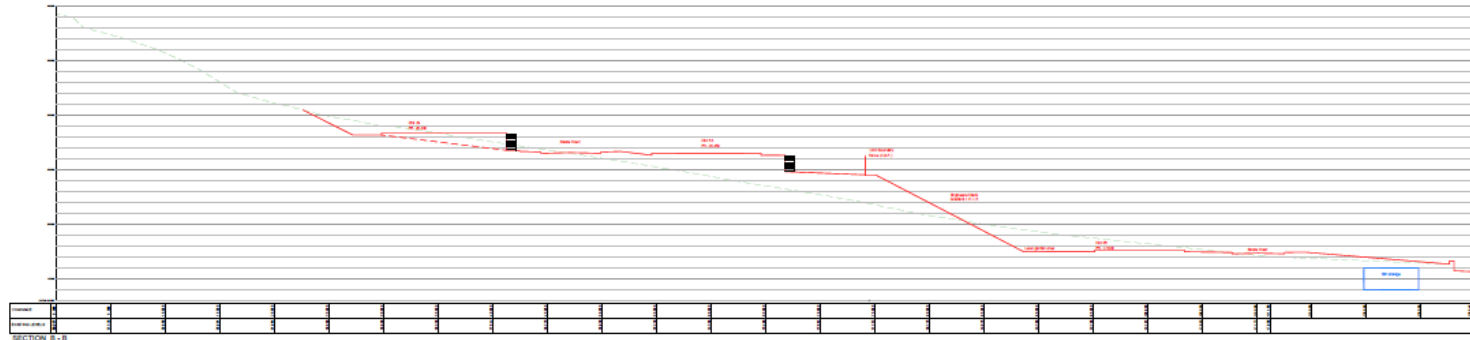
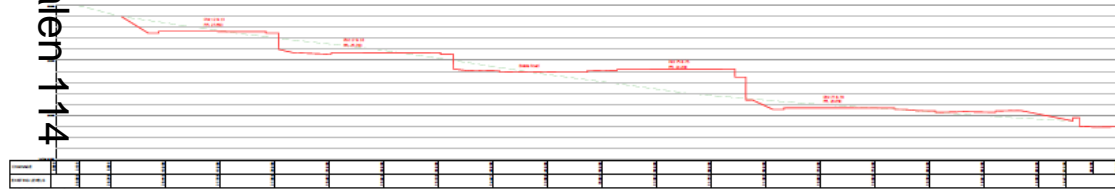
Project Name and Address

Goodig Hotel, Pwll Road,
 Burry Port, Carmar.
 Proposed Junction
 Ghost Island
 Road Markings

Project	2017-391	Sheet	
Date	11.04.2018		SK04
Scale	1:500@A4L		

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Tudalen 114



This drawing is to demonstrate an initial engineering concept, highlight risks and provide guidance for early cost planning. The design of the levels and drainage is subject to change at the detailed design stage and following consultation with key stakeholders including NRW, DCW and Camarthenshire County Council.

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rev	date	Description	by
A	04/03/17	Updated to add final site layout and levels.	MC

Status: **PRELIMINARY**

Drawn: CSM
 Checked: CTW
 Date: Mar. 2017
 Scale: 1:200 (A3)

Client: Pobl Group
 Project: Pwl Road, Burry Port.
 Title: Proposed Site Cross Sections.
 Ref: 2249/501-3 Rev: A



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Tudalen 115

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Tudalen 116



S/36993



Tudalen 117

S/36993

Tudalen 118



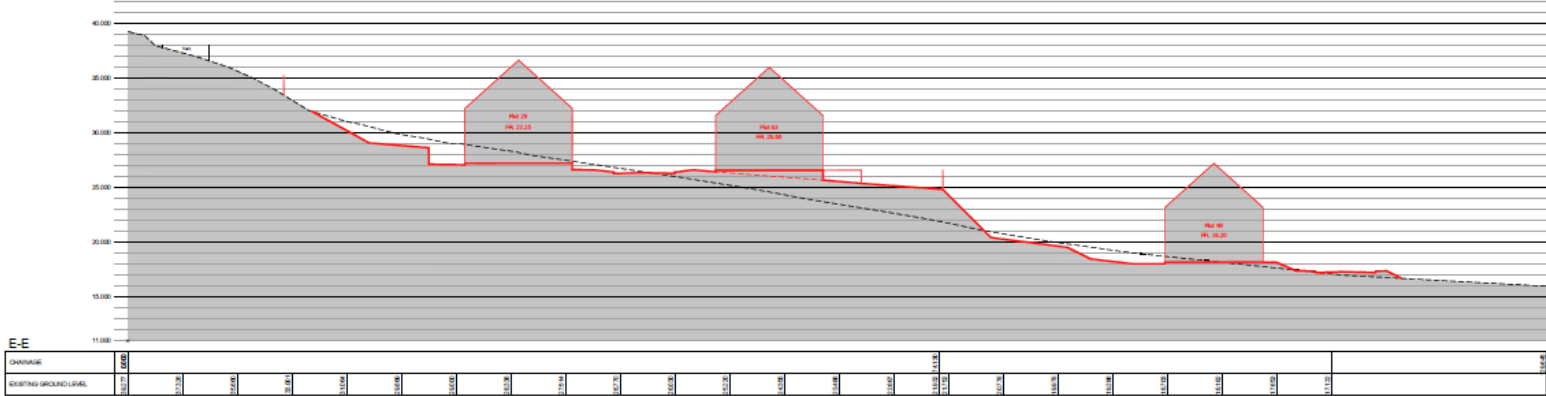
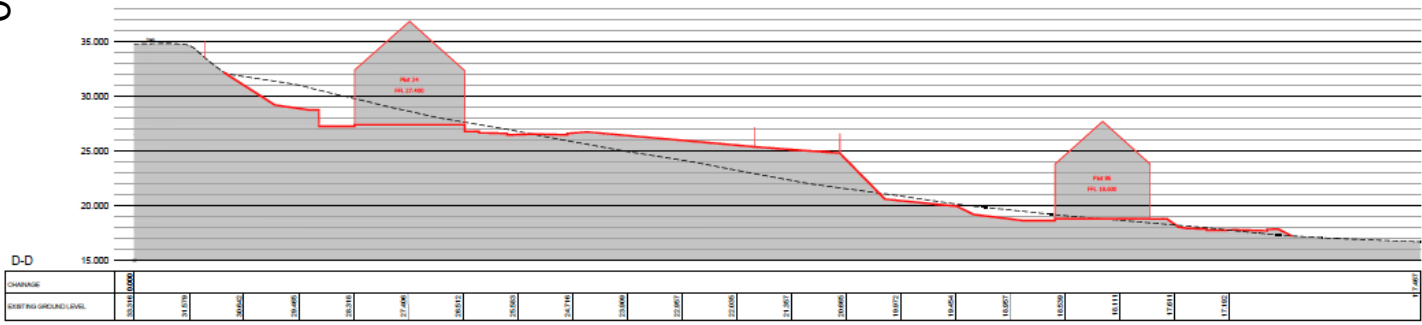
S/36993



Tudalen 119

S/36993

Tudalen 120



GENERAL NOTES:
 The Contractor is to check and verify all building and site dimensions, levels and sewer level levels at construction points before work starts. Any discrepancy is to be reported to Spring Design before work commences.

The Contractor is to comply in all respects with current building regulations - Building Standards Specifications, Building Regulations etc., whether or not specifically stated on this drawing.

The drawing shall be read with and checked against any existing, preliminary or other separate documentation provided.

This drawing is not intended to show details of foundations, ground conditions or ground contamination. Any level of ground shown shall be treated as absolute clearance from the ground surface. It is the Contractor's responsibility to investigate the ground conditions of the site prior to construction. Any aspect of the ground conditions on or within the ground should be further investigated by a suitable expert and the results of any investigation should be reported to the contractor. Any aspect of the ground conditions should be investigated by a suitable expert.

Where existing trees are shown to be retained they should be subject to a BS Accredited Inspection for safety.

The existing ground levels along the route of the proposed road are to be confirmed by the Contractor before works commence.

All roads which are to be the subject of a Section 28 Agreement are to be constructed in accordance with the Local Highway Authority's current specifications and to the satisfaction of the Local Highway Authority's Engineer.

All construction methods and materials employed are to be in accordance with the current code and Engineering specifications. All final construction treatment are to be confirmed by suitable C.S.R. building in accordance with Construction Company's Practice.

No responsibility will be taken for any construction work undertaken prior to receipt of technical approvals for the intended construction, or where work is not executed in accordance with the drawings.

A series of water drains should not be located closer to street level than the lowest level of the drainage system. Height, extent and special protection measures are provided. A set of accurate surveys is provided from project/plan will contain details.

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REV	DATE	DESCRIPTION	BY
A	05.04.18	Levels amended.	MCC
B	26.06.18	Updated to latest site layout following planners comments.	CM

Status: **PRELIMINARY**

Drawn: SA	Client: Pobl Group
Checked: MCC	Project: Pwll Road, Bury Port
Date: Feb 2018	Title: Site Sections (3 of 6)
Scale: 1:200 (A1)	Ref: 2249/035-3
	Rev: B

spring
 CONSULTANCY
 Unit 3 Chapel Barrow Marazion Way
 Wildgust C125014510188800007
 mail@spring-consultancy.co.uk

S/36993



1:500

GENERAL NOTES:

The Contractor is to check and verify all building and site dimensions, levels and areas. Check levels on construction points before work starts. Any discrepancy is to be reported to the design team with supporting evidence on the drawing.

The Contractor is to comply in all respects with current building regulations, Building Materials Specifications, Building Regulations etc., whether or not specifically stated on the drawing.

The ground levels are shown with and should agree with any structure, pavement or other specialist construction provided.

The drawing is not intended to show details of foundation, ground conditions or ground movements, but areas of ground level which require any structure (including drainage) shall be investigated by the Contractor. A suitable method of foundation shall be provided allowing for all existing ground conditions. Any material or fill placed, incorporated in or on the ground, should be fully investigated for a suitable means for ground stability and should be fully investigated by a suitable expert.

When existing trees are shown to be retained they should be subject to a full arboricultural inspection for safety.

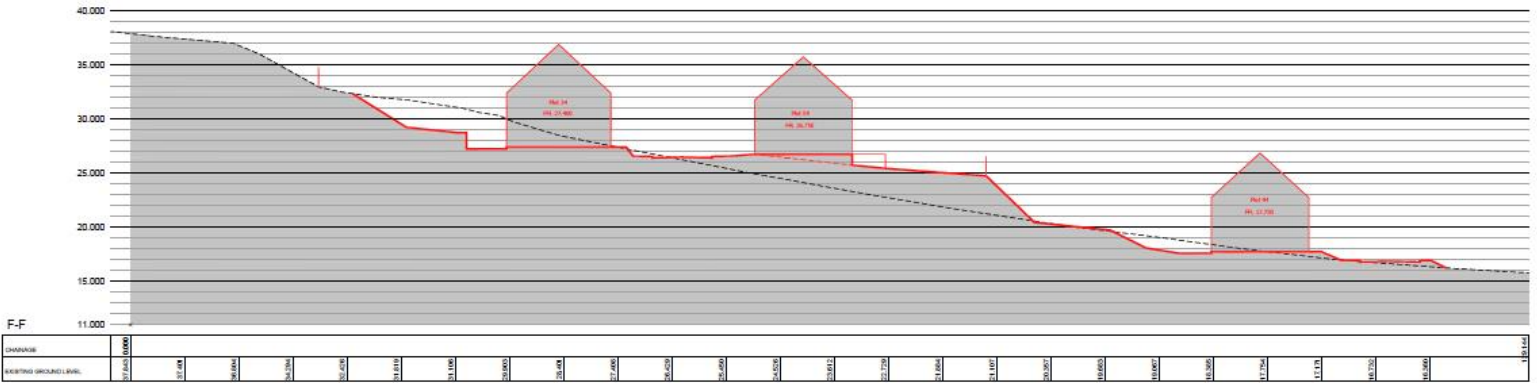
The existing ground levels along the side of the proposed road are to be confirmed by the Contractor before works commence.

All levels which are to be the subject of a Section 55 Agreement are to be confirmed in accordance with the Local Highway Authority's current specifications, and in the specification of the Local Highway Authority's Engineer.

All construction methods and materials proposed are to be in accordance with the current code and appropriate specifications. All road construction treatments are to be confirmed by suitable C.E.C. before commencement with construction and agreed ground treatments.

No responsibility will be taken for any construction methods or materials used if not approved for the intended construction of which work is not detailed on the drawing.

A review of what has been shown on the drawing shall be taken to ensure it is in accordance with the current code and appropriate specifications. All road construction treatments are to be confirmed by suitable C.E.C. before commencement with construction and agreed ground treatments.



Tudalen 21

1:200

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REV	DATE	DESCRIPTION	BY
A	02.04.15	Levels amended.	MCC
B	26.06.15	Updated to latest site layout following planners comments.	CM

Status: **PRELIMINARY**

Drawn: EA
Checked: MCC
Date: Feb 2015
Scale: As Shown (A1)

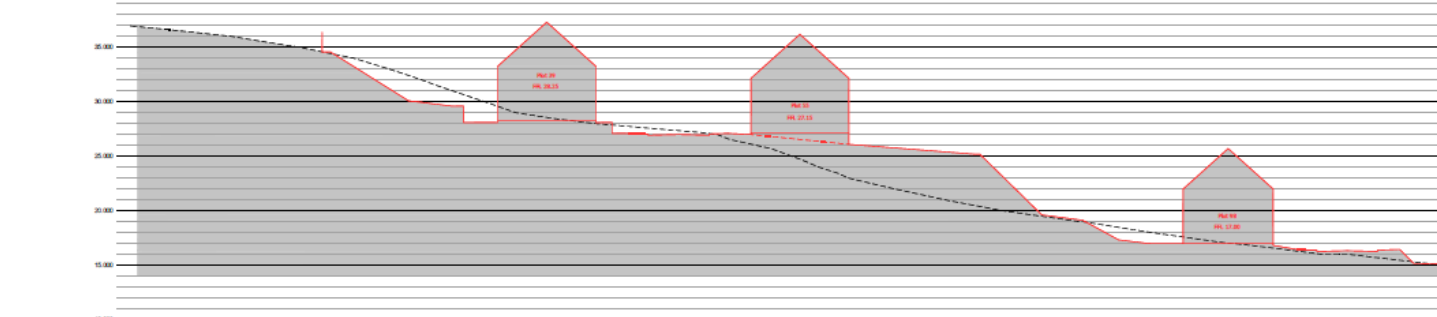
Client: Publ Group
Project: Pwll Road, Burry Port
Title: Site Sections (4 of 6)
Ref: 2249/635-4

Rev: B

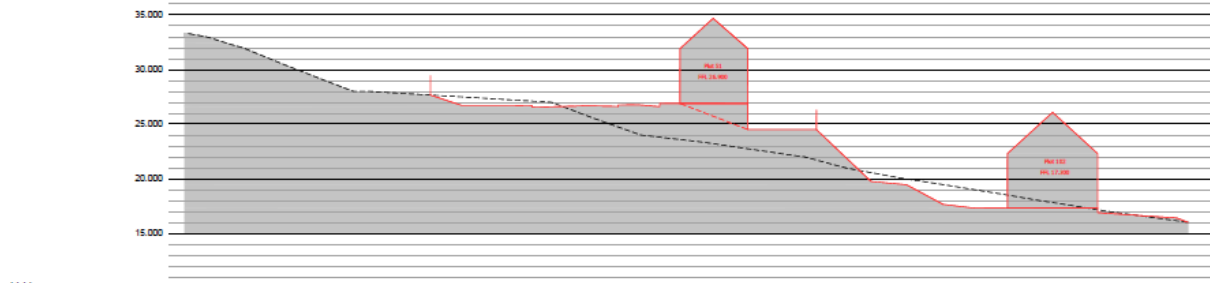
spring
Unit 2 Chapel Walk, Marlow, Bucks
HP88 6JG
Tel: 0494 471111
Email: info@springdesign.co.uk

S/36993

Tudalen 122



CHAINAGE	1000	1001	1002	1003	1004	1005	1006	1007	1008	1009	1010	1011	1012	1013	1014	1015	1016	1017	1018	1019	1020	1021	1022	1023	1024	1025	1026	1027	1028	1029	1030
EXISTING GROUND LEVEL	33.00	32.50	32.00	31.50	31.00	30.50	30.00	29.50	29.00	28.50	28.00	27.50	27.00	26.50	26.00	25.50	25.00	24.50	24.00	23.50	23.00	22.50	22.00	21.50	21.00	20.50	20.00	19.50	19.00	18.50	18.00



CHAINAGE	1000	1001	1002	1003	1004	1005	1006	1007	1008	1009	1010	1011	1012	1013	1014	1015	1016	1017	1018	1019	1020	1021	1022	1023	1024	1025	1026	1027	1028	1029	1030
EXISTING GROUND LEVEL	33.00	32.50	32.00	31.50	31.00	30.50	30.00	29.50	29.00	28.50	28.00	27.50	27.00	26.50	26.00	25.50	25.00	24.50	24.00	23.50	23.00	22.50	22.00	21.50	21.00	20.50	20.00	19.50	19.00	18.50	18.00

ISSUING NOTICE:

The Contractor is to check and verify all building and site dimensions, levels and sewer level notes at construction points before work starts. Any discrepancies to be reported to Spring Design before work commences.

The Contractor is to comply in all respects with current building regulations including structural specifications, building regulations etc., whether or not specifically stated on the drawing.

The drawing must be read with and checked against any planning, permission or other specialist construction provisions.

The drawing is not intended to show details of foundations, ground conditions or ground water levels. Each area of ground shall open to support any structure detailed (including drainage) shall be investigated by the Contractor. A suitable method of foundation shall be provided allowing for all existing ground conditions. Any aspect of full ground investigations or in situ test ground, should be further investigated by a suitable expert. Any and all ground conditions shall include typical scope for geotechnical only and should be further investigated by a suitable expert.

Where existing trees are shown to be retained they should be subject to a full arboricultural inspection for safety.

The existing ground levels along the side of the proposed road are to be confirmed by the Contractor before works commence.

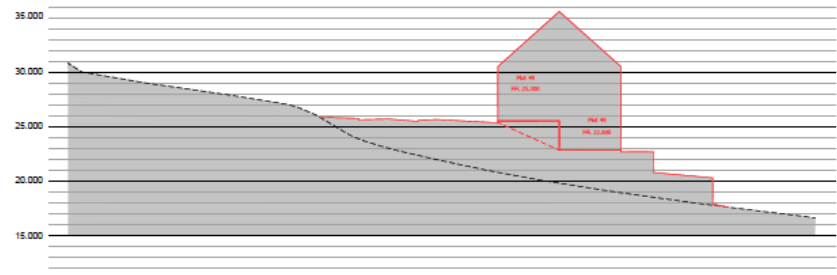
All works which are to be the subject of a Section 55 Agreement are to be completed in accordance with the Local Highway Authority's current specifications and to the satisfaction of the Local Highway Authority's Engineer.

All construction methods and materials employed are to be in accordance with the current code and engineering specifications. All road construction provisions are to be confirmed by suitable CDM 15, applying in accordance with Construction (Design) and Safety Regulations.

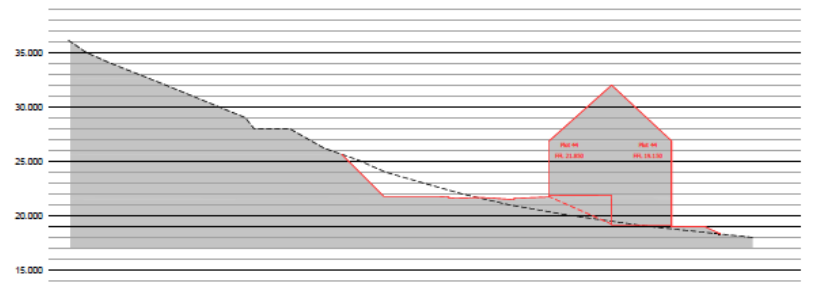
No responsibility will be taken for any construction work undertaken prior to receipt of technical approvals for the proposed construction or when work is not watched/ability in accordance with the drawing.

A sewer or water pipe should not be located closer to than 1.0 metres to either side of the service width of culvert height, except where special protection measures are provided (e.g. use of appropriate barriers or enclosures from adjacent pavements with sealed joints).

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CHANGE	DATE	BY	DESCRIPTION
EXISTING GROUND LEVEL	10.00	10.00	10.00



CHANGE	DATE	BY	DESCRIPTION
EXISTING GROUND LEVEL	10.00	10.00	10.00

GENERAL NOTES:
 The Contractor is to check and verify all building and site dimensions, levels, and water level marks at construction points before work starts. Any discrepancies are to be reported to Spring Design before work commences.

The Contractor is to comply in all respects with current building regulations - Building Standards Specifications, Building Regulations etc., whether or not specifically stated on the drawing.

The drawing must be read with and checked against any drawings, specifications or other special instructions/notes.

This drawing is not intended to show details of foundations, ground conditions or ground water levels. Each area of ground shall open to support any structure proposed. Existing drainage shall be investigated by the Contractor. A suitable method of drainage shall be provided ensuring for all existing ground conditions. The subject of flood ground, groundwater or its effects on ground, should be further investigated by a suitable expert. Any relevant construction advice (including special design for guidance only) should be further investigated by a suitable expert.

Where existing trees are shown to be retained they should be subject to a B.E.A. Arboriculture Inspector for safety.

The existing ground levels along the route of the proposed road are to be confirmed by the Contractor before works commence.

All works which are to be the subject of a Section 106 Agreement are to be controlled in accordance with the Local Highway Authority's current specifications and to the satisfaction of the Local Highway Authority's Engineer.

All construction methods and materials employed are to be in accordance with the current road and highways specifications. All road construction specifications are to be confirmed by suitable C.E.S. being in accordance with Cambridgeshire County Council requirements.

No responsibility will be taken for any construction work undertaken prior to receipt of technical approvals for the transfer of operations, or other work is not warranted hereby in accordance with the drawings.

A sewer or other pipe shall not be located closer to these foundations within than the depth width of surface (height), except where special provisions (measures are provided e.g. use of appropriate barriers or construction from precast pipe with sealed joints).

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rev	date	description	by
A	05.04.18	Levels amended.	MCC
B	25.06.18	Updated to latest site layout following planners comments.	CM

Status: **PRELIMINARY**

Drawn: EA
 Checked: MCC
 Date: Feb 2018
 Scale: 1:200 (A1)

Client: Publ Group
 Project: Pwll Road, Barry Port
 Title: Site Sections (6 of 6)
 Ref: 2249/635-6

Rev: 0

spring
 Unit 2 Chapel Works | Market Mawr
 Milgrove | CP2 0LR | 01858 862827
 mail@spring-consultancy.co.uk

S/36993

Tudalen 124



Tree Constraints Plan

Site: Tudalen 124
Project No: S/36993
Scale: 1:500 (approx.)

Legend:

- Category 1 (High) - (Protect & Retain)
- Category 2 (Medium) - (Protect & Retain)
- Category 3 (Low) - (Protect & Retain)
- Category 4 (Special) - (Protect & Retain)

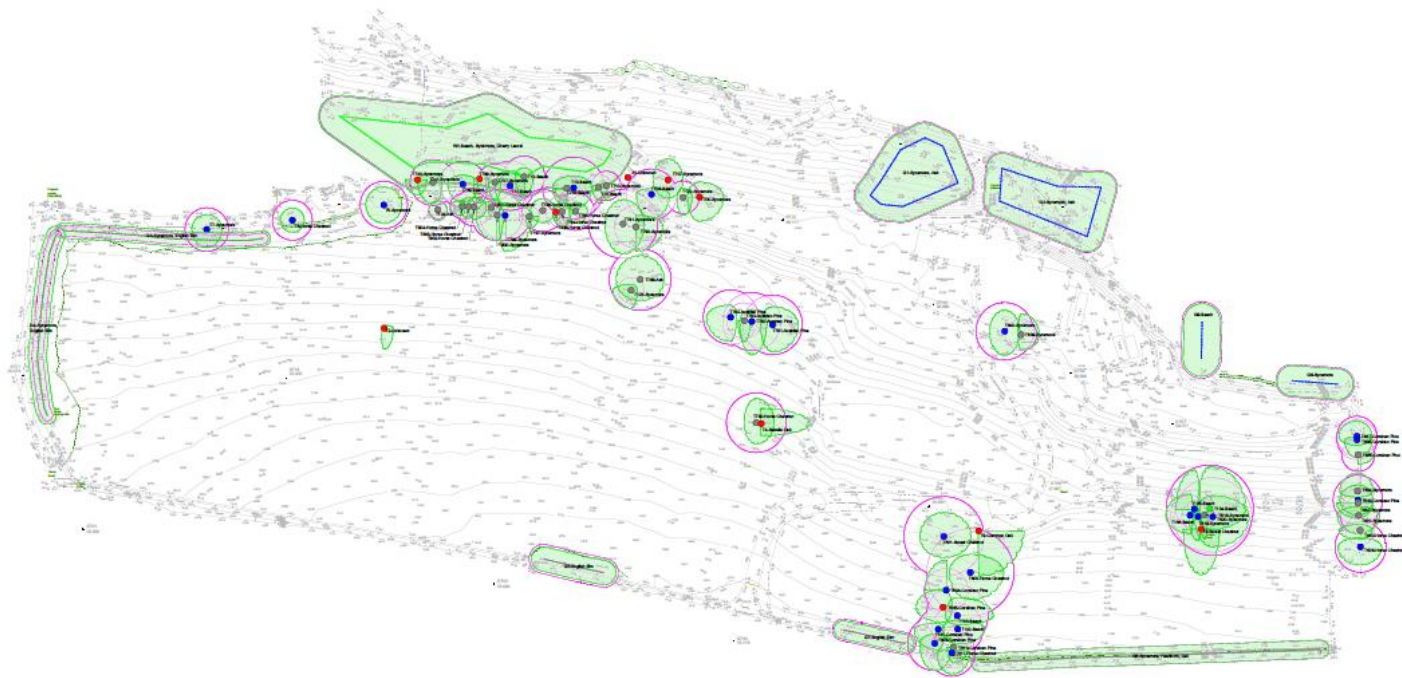
Notes:

1. All trees within the site boundary are to be protected and retained unless otherwise indicated.
2. All trees within the site boundary are to be protected and retained unless otherwise indicated.
3. All trees within the site boundary are to be protected and retained unless otherwise indicated.
4. All trees within the site boundary are to be protected and retained unless otherwise indicated.

Tree Constraints Plan

The Plan and Scope of Protection shall be as shown on the attached drawings. The Plan and Scope of Protection shall be as shown on the attached drawings. The Plan and Scope of Protection shall be as shown on the attached drawings. The Plan and Scope of Protection shall be as shown on the attached drawings.

S/36993



Tree Constraints Plan

Site: **Avdalen**
Project Ref: **36993**

- Category A (High) (High Survival to maturity)
- Category B (Medium-High) (Medium Survival to maturity)
- Category C (Low) (Low Survival to maturity)
- Category D (None) (No Survival to maturity)



Tree Protection Zone (TPZ) of a tree is the area surrounding the tree trunk, extending to the outer limit of the tree's canopy and including the root zone (the area of soil from which the tree draws its nutrients and water).



TPZ shall be established for all trees with a DBH of 75mm or more.



TPZ shall be established for all trees with a DBH of 75mm or more.

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TPZ shall be established for all trees with a DBH of 75mm or more.

Tudalen 125

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Tudalen 126



S/36993



Tudalen 127

S/36993

Tudalen 128



S/36993



Tudalen 129

S/36993

Tudalen 130



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Tudalen 131

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Tudalen 132



S/36993



Tudalen 133

S/36993

Tuddalen 134



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Tudalen 135

S/36993

Tudalen 136



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Tudalen 137

Mae'r dudalen hon yn wag yn fwriadol